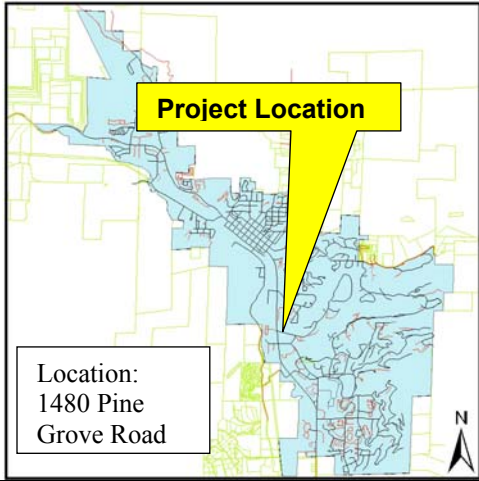


**DEPARTMENT OF PLANNING AND COMMUNITY  
DEVELOPMENT STAFF REPORT**

<b>PLANNING COMMISSION AGENDA ITEM # 4:</b>		
<b>Project Name:</b>	<b>Rollingstone Village #DPF-09-01</b>	
<b>Prepared By:</b>	Jonathan Spence, Senior Planner (Ext. 224) Alexis Casale, Historic Preservation Planner, (Ext. 202)	
<b>Through:</b>	John Eastman AICP, Planning Services Manager (Ext. 275)	
<b>Planning Commission (PC):</b>	February 26, 2009	
<b>City Council (CC):</b>	March 17, 2009	
<b>Zoning:</b>	Community Commercial (CC)	
<b>Applicant:</b>	Rollingstone Development Corp C/O Brian Bavosi, P.O. Box 774842, Steamboat Springs, CO 80477, 970-871-0056	
<b>Request:</b>	Concurrent Development Plan/Final Development Plan for a mixed use development on a 2.79 acre site totaling 100,687 square feet including 70,849 square feet of residential space and approximately 22,000 square feet of commercial and amenity space. The project proposes variances to the required thirty (30) foot side setback (10' feet proposed) and the maximum Floor Area Ratio of 50% (83% proposed). A conditional use is required for the residential units along the pedestrian frontage.	

<b>Development Statistics - Overview</b>	
<b>Lot Area:</b>	2.79 acres
<b>Gross Floor Area:</b>	100,687 sf
<b>Floor Area Ratio</b>	.83
<b>Lot Coverage:</b>	.24
<b>Average Plate Height</b>	Varies, 35' Max
<b>Overall Height:</b>	Varies 63' Max
<b>Parking Spaces</b>	130

<b>Staff Report - Table of Contents</b>		
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**I. COMMUNITY DEVELOPMENT CODE (CDC) – STAFF ANALYSIS SUMMARY**

**CDC - SECTION 26-66 (D):** NO FINAL DEVELOPMENT PLAN SHALL BE APPROVED UNLESS THE PLANNING COMMISSION AND CITY COUNCIL FIND THAT THE PLAN MEETS ALL OF THE FOLLOWING CRITERIA [THESE CRITERIA ALSO COVER THE DEVELOPMENT PLAN CRITERIA IN SECTION 26-65 (D)]:

Subsection	Consistent			Notes
	Yes	No	N A	
1) Complete Application	<input checked="" type="checkbox"/>			
2) Conformity with Community Plan	<input checked="" type="checkbox"/>			
3) Consistency with Surrounding Uses	<input checked="" type="checkbox"/>			
4) Conformity with the building and architectural standards	<input checked="" type="checkbox"/>			
5) Minimize Adverse Impacts	<input checked="" type="checkbox"/>			
6) Access	<input checked="" type="checkbox"/>			
7) Minimize Environmental Impacts	<input checked="" type="checkbox"/>			
8) Phasing			<input checked="" type="checkbox"/>	
9) Variance Criteria	<input checked="" type="checkbox"/>			
10) Compliance With Other Standards	<input checked="" type="checkbox"/>			

**Staff Finding:** The Rollingstone development provides a well designed project that maximizes density within the constraints of the site. The project provides upgrades to the pedestrian connections and improvements in public gathering spaces. The project meets all applicable requirements of the Community Development Code, Steamboat Springs Area Community Plan and the Urban Design Standards.

*(Detailed policy analysis is located in Section V; Staff Findings and Conditions are in Section VII)*



## **II. BACKGROUND**

The site is a 2.79 acre parcel (Lot 6, Selbe Subdivision, Fling #1) located directly behind the Safeway Grocery Store. It is bound by Fish Creek on the North, Rollingstone Drive on the East and Pine Grove Road on the South. The property is impacted by both the floodplain and the floodway however both are well within the required 50' waterbody setback. No improvements with the exception of an eight (8) foot trail and a fire pit are proposed in either the floodplain or the floodway.

The property currently contains a single-family home, a garage, a welding shop and three small sheds. Construction dates for three of the buildings are listed as 1980 by the Routt County Assessor and one accessory structure is dated 1963. The original 1-story house and 1 ½-story detached garage were constructed in 1941 according to the Routt County Assessor. They are good examples of Rustic style architecture and therefore most likely eligible to the Routt County Register of Historic Properties. Rustic style is embodied in its setting, materials and craftsmanship. These elements are visible throughout the house and its detached garage. The setting of the site is heavily vegetated with an abundance of mature trees. Stone foundations are evident on both structures with log construction and overhanging roofs. Craftsmanship is evident in the details at the joints, scalloping fascia board, exposed rafters and fenestration. The structures both have metal roofs as customary in Steamboat Springs.

A Pre-Application for this project was reviewed by City Staff and heard before the Planning Commission and City Council on June 12, 2008 and July 1, 2008 respectively. The meeting minutes are included with this report as Attachments 3 and 4.

## **III. PROJECT DESCRIPTION**

The current proposal is for an infill mixed use development on the 2.79 acre site totaling 100,687 gross square feet including 70,849 square feet of residential space and approximately 22,000 square feet of commercial and amenity space. Sixty one (61) residential units and seven (7) commercial spaces are proposed. The development includes four new free standing buildings, an addition to an existing structure, 107 spaces of underground parking, 23 surface parking spaces, an eight (8) foot concrete trail along Fish Creek and a public access easement over areas of the property not encumbered by buildings. The project is proposed to be developed in one phase. The applicant has requested an increase in the vesting period from three (3) to seven (7) years.

## **IV. HISTORIC PRESERVATION ADVISORY COMMISSION**

The Historic Preservation Advisory Commission (HPAC) reviewed the Development Plan for Selbe Subdivision Lot 6 on November 24, 2008. HPAC recommended denial of the proposal based on non-compliance of the following Design Guidelines, 10.7- regarding mass and scale for new construction, 9.6, 9.7 and 9.10 regarding additions and non-compliance of Section 26-133 (d) (2) a of the Community Development Code with a vote (4-0). The Commission discussed the mass and scale of the proposed new buildings and their relationship to the existing historic structures. HPAC was concerned particularly with Building A and Bs' large scale immediately

adjacent to the historic house and garage. They also discussed the proposed addition to the garage and stated concern for its large scale without a connector piece.

**V. OVERVIEW OF ZONE DISTRICT INTENT, DIMENSIONAL AND DEVELOPMENT STANDARDS – CC ZONE**

**Sec. 26-105. CC community commercial zone district.**

(a) *Purpose and intent.* The community commercial zone district is designed and intended primarily to provide nodes for commercial services and sale of goods for residents and visitors, as well as nodes for office, lodging and residential development. An emphasis shall be placed on minimizing the impact of vehicular traffic through the provision of low intensity commercial development, encouraging a mix of complementary uses that might reduce single-purpose automobile trips, mitigation of the aesthetic impact of parking lots, utilization of joint access between properties, and the provision of safe, efficient and well-connected pedestrian, bicycle and transit facilities. Along U.S. Highway 40, development and redevelopment is encouraged to allow visual and physical connections to the Yampa River and Yampa River Core Trail and to present a high-quality street frontage with landscaped buffers and open space areas. Consideration shall be given to providing a quality entryway into the city, reducing visual clutter with respect to signage and lighting and discouraging strip commercial type of development. Commercial development is intended to be focused around signalized intersections with concentrations of low intensity office, residential and lodging development between those signalized intersections.

*Staff Analysis:* **Consistent.** The Rollingsstone Project meets the purpose and intent of the Community Commercial Zone District. Its proximity to public transit and commercial services including grocery will reduce the need for automobile trips for the residents. The project proposes attractive multi use buildings, significant open space and attractive landscaping. The project is well integrated into the pedestrian, bicycle and transit facilities, enhancing opportunities for alternative transportation.

**Dimensional and Development Standards:** The following list was compiled by the project planner to provide an overview of key standards applicable to the project. Items in **bold** do not comply with applicable standards; refer to Project Analysis section for additional information. Interested parties are encouraged to review the Community Development Code (CDC) or contact the project planner for a comprehensive list of all applicable standards.

<b>DIMENSIONAL STANDARDS – CDC Section 26-132</b>			
<b>Standard</b>	<b>Maximum</b>	<b>Minimum</b>	<b>Proposed</b>
<i>Lot Area</i>	No Max	None	121,968 square feet

<b>DIMENSIONAL STANDARDS – CDC Section 26-132</b>			
<b>Standard</b>	<b>Maximum</b>	<b>Minimum</b>	<b>Proposed</b>
<i>Lot Coverage</i>	.50	None	30,088 square feet or 0.24
<i>Units per Lot</i>	Determined by F.A.R.	None	61 residential 7 commercial
<i>Floor Area Ratio (FAR)</i>	.5	None	<b>.83</b>
<i>Building Height Building A</i>	APH-35 ft. OH-63 ft w/ underground parking	None None	34.89’ 62.11’
<i>Building Height Building B/C</i>	APH-35 ft. OH-63 ft w/ underground parking	None None	29.30’ 60.25’
<i>Building Height Building D</i>	APH-35 ft. OH-57 ft	None None	17.20’ 29.40’
<i>Building Height Building E</i>	APH-35 ft. OH-57 ft	None None	Existing Existing
<i>Building Height Building F</i>	APH-35 ft. OH-63 ft w/ underground parking	None None	34.10’ 63.00’
<b>Setbacks</b>			
<i>Front (south)</i>	None	20’	20’
<i>Front (east)</i>	None	20’	20’
<i>Side (west)</i>	None	30’	<b>10’</b>
<i>Rear</i>	None	50’	30’ (See WS-08-02)

<b>DEVELOPMENT STANDARDS</b>		
<b>Standard</b>	<b>Requirement</b>	<b>Proposed</b>
<i>Open Space (Sec. 26-134)</i>	18,294 square feet	33,100 square feet
<i>Landscaping (Sec. 26-135)</i>	Internal Areas landscaped to the moderate category  15' Landscape Setback from Pine Grove Road and Rollinstone Drive, dense  Trees preserved per CDC	As required
<i>Parking and Loading Design Standards (Sec. 26-137).</i>	124 Spaces	130
<i>Sidewalks, Trails and Walkways (Sec. 26-138).</i>	Sidewalks per Public Works and CDC specifications.	8' sidewalk along Pine Grove Road, 6' sidewalk along Rollinstone Drive, 8' concrete trail along Fish Creek
<i>Lighting Standards (Sec. 26-136)</i>	Downcast, screened and shielded lighting	Meets standard
<i>Snow Storage (Sec. 26-142).</i>	0 square feet	snowmelt

**VI. PROJECT ANALYSIS**

**A. CRITERIA FOR APPROVAL**

**CDC - Section 26-65 (e): No development plan shall be approved unless the planning commission and city council find that the plan meets all of the following criteria:**

The following section provides staff analysis of the application as it relates to key sections of the CDC. It is intended to highlight those areas that may be of interest or concern to planning commission, city council, staff or the public. For a comprehensive list of standards and requirements applicable to this proposal please refer to the CDC or contact the staff planner.

**CDC - Section 26-65(e)(1): Complete Application**

*Staff Analysis:* **Consistent;** The applicant for Rollystone Village has submitted all the required plans and supporting application materials.

**CDC - Section 26-65(e)(2): Conformity with Community Plan and other approved Master Plans**

*Staff Analysis:* **Consistent;** Rollystone Village is in conformity with the Steamboat Springs Area Community Plan (see Section C below) and other approved Master Plans. Plan.

**CDC – Section 26-65 (e)(3): Consistency with Surrounding Uses**

*Staff Analysis:* **Consistent;** Rollystone Village is consistent with the surrounding uses that include the Sundance @ Fishcreek commercial center, Safeway grocery store and the Selbe retirement home. The residential and commercial uses complement existing businesses at in the area...

**CDC – Section 26-65 (e)(4) Minimize Adverse Impacts**

*Staff Analysis:* **Consistent;** Rollystone Village is not anticipated to cause any adverse impacts. Adequate measures during construction will be followed to minimize impacts on the natural environment.

**CDC – Section 26-65 (e)(5) Access**

*Staff Analysis:* **Consistent;** Access is has been reviewed and approved by Public Works and Fire Prevention Services.

**CDC – Section 26-65 (e)(6) Minimize Environmental Impacts**

*Staff Analysis:* **Consistent;** Rollystone Village is not anticipated to have any negative environmental impacts. As stated previously, proper site management techniques will be followed to minimize any environmental impacts.

**CDC – Section 26-65 (e)(7) Phasing**

*Staff Analysis:* **N/A.** The project will be developed in one.

**CDC – Section 26-66 (d)(3) Conformity with the Building and Architectural Standards**

*Staff Analysis:* **Consistent;** Rollystone Village complies with the building and architectural design standards of the CDC.

**B. DEVELOPMENT STANDARDS**

**CDC Section 26-133 Building and Architectural Design Standards**

*Staff Analysis:* **Consistent;** The architectural drawings submitted are in compliance with the Community Wide Standards and the Urban Design Standards (see V.-D). The materials chosen include horizontal and vertical cedar siding, steel, stone and timber (beetle kill spruce). A materials board will be available both at the worksession and the public hearing.

**CDC Section 26-133(d)(2) Context & Orientation**

*Staff Analysis:* **Consistent;** Staff finds that the proposed development does not overwhelm or contradicts its surroundings. This proposal acknowledges the scale and proportion of neighboring developments. Parking has been situated so that is located under or behind buildings and is not the primary presence along the street frontage.

**CDC Section 26-133(d)(3) Mass, Scale and Articulation/Modulation**

*Staff Analysis:* **Consistent.** Staff finds that the mass and scale of these buildings are appropriate for that of a mixed use development. The larger buildings are broken up into discrete components that assist in reducing the perceived mass.

**C. STEAMBOAT SPRINGS AREA COMMUNITY PLAN (SSACP)**

*Future Land Use Map Designation.* The Community Plan Future Land Use map classifies this site as Mixed Use Corridor. The Mixed Use Corridor classification is defined as follows:

*Land Uses:* This classification emphasizes retail, office and residential uses in a mixed-use development setting.

*Character:* Outside of the downtown area, north and south along US 40, much of the region’s existing commercial development is located along the highway in a “strip” development pattern. While much of the lands in the Mixed Use Corridor classification are developed for commercial purposes, it is intended that over time these areas have a higher percentage of residential uses. North of 13<sup>th</sup> Street, the long-term target for a mix of uses is 75% commercial and 25% residential. South of 3<sup>rd</sup> Street, the target for a mix of uses is 50% commercial and 50% residential. Furthermore, while the development currently is auto-oriented, future development should place a strong emphasis on pedestrian connections. The intent is that overall intensity of commercial and residential development will be lower than in the Commercial Activity Nodes--key commercial locations at major intersections and in the Old Town area.

*Staff Analysis:* **Consistent.** Staff finds that the proposal is compatible with the Future Land Use Map designation. The Pine Grove Commercial Node is currently comprised predominately of commercial uses. A critical mass of residential product located in close proximity to this node will increase the mix of uses and lead to increased pedestrian activity. The residential uses, being in excess of 50%, move the area towards the long-term goal of 50% commercial and 50% residential uses.

The proposed project is consistent with the following- SSACP policies and goals:

*Goal LU-1: Our community will promote a functional, compact, and mixed-use pattern that integrates and balances residential and non-residential land uses.*

LU-1.2: Future development will be in compact mixed-use neighborhoods.



LU-2.1: Infill and redevelopment will occur in appropriate locations, as designated by the city.

LU-3.2: New development will be designed to promote distinct new mixed-use neighborhoods.

LU-5.1: Develop appropriate land use densities to support transit.

LU-5.2: New neighborhoods will be well connected by streets, sidewalks, trails, walkways, and bicycle lanes.

*Goal T-1: The community considers transportation to be a basic utility in all land use decisions.*

T-1.1: New development, including infill, shall be designed to achieve walkable communities and limit trip generation.

T-1.4: New development shall incorporate transit friendly design.

The project is located within the Pine Grove Pedestrian District

*Goal T-2: The community will support improvements to the local transportation system.*

T-2.1: New development shall include an interconnected pedestrian and bicycle system.

*Goal H-1: Our community will continue to increase its supply of affordable home ownership, rental, and special needs housing units for low, moderate, and median-income households.*

*Goal CD-1: Our community will preserve its small town character and the image of neighborhoods and the community.*

CD-1.4: Encourage high quality site planning and building design.

CD-1.5: Infill and redevelopment projects shall be compatible with the context of existing neighborhoods and development.

*Goal CD-4: Our community will maintain and improve the appearance of its corridors and gateways and will continue to have vibrant public spaces.*

CD-4.3: Public buildings and public outdoor spaces shall continue to be built to a high design standard.

CD-4.4: New commercial development shall incorporate high quality public spaces.

#### **D. CONDITIONAL USE**

Multifamily is a use with criteria in the CC Zone District. One of the criteria is that they can not be located along a pedestrian level street in the CC Zone District. The inability to meet this criteria results in the requirement of a conditional use review. Conditional uses are those uses that are generally in keeping with the purpose and intent of the zone district yet may have more impacts to surrounding properties and the community than

uses by right or uses with criteria. The project proposes residential units along a portion of the Pine Grove frontage and also a portion of the Rollingstone Drive frontage. Staff is supportive of the ground floor residential with the recessed entryways and finished floor above that of the sidewalk. To force nonresidential uses at this location would not be in the best interest of the community. If nonresidential demand were to occur in the future, these units could be converted.

#### **E. URBAN DESIGN STANDARDS**

The City of Steamboat Springs adopted the “Urban Design Standards and Entry Corridor Concepts” in February of 2008. The design standards section is applicable to this project as it is a mixed use development located in the CC Zone District. The following standards are pertinent to Rollingstone Village:

### **BUILDING ORIENTATION/RELATIONSHIP OF USES**

#### **DESIGN STANDARDS**

##### ***Building organization***

- Buildings within commercial, mixed-use, and multifamily developments shall be organized to promote a compact pattern of development, create pedestrian-friendly spaces and streetscapes, create fingers of naturalized landscaping, and screen parking areas.
- Buildings shall be arranged and grouped so that their primary orientation complements one another and adjacent, existing development by (*Figure 2*):
  - Framing the corner of an adjacent street intersection or entry point to the development;
  - Framing and enclosing a "main street" pedestrian and/or vehicle access corridor within the development site;
  - Framing and enclosing on at least three sides parking areas, public spaces, or other site amenities;
  - Framing and enclosing outdoor dining or gathering spaces for pedestrians between buildings; or
  - Framing one or more “fingers” of natural vegetation (*Figure 3*).

***Staff Analysis:*** **Consistent.** The increased FAR coupled with a Lot Coverage of less than half the allowable demonstrates the compact nature of this development. The buildings help frame the corner of Rollingstone Drive and Pine Grove Road while providing an interesting pedestrian experience. The trail along Fish Creek and the inclusion of underground parking results in a pedestrian friendly project.

##### ***Vertical Mixed Use (Relationship of Uses)***

- Uses that generate more pedestrian activity (e.g., restaurants, retail stores) should be located at the street level and less active uses (e.g., offices, residential units) should be located on upper floors.
- A vertical mix of uses is particularly encouraged along major street frontages, as well as adjacent to major public spaces, where a high level of activity and visibility is desirable. If a limited portion of a structure's ground level will be devoted to retail or restaurant space, such space should be located along those facades adjacent to or most visible from primary street frontages or major pedestrian walkways.

*Staff Analysis:* **Consistent.** The Rollingstone project successfully integrates a vertical mix of uses where appropriate. The restaurant use located along the trail and the commercial uses framing the project's entrance assist in meeting this standard.

## BUILDING DESIGN AND CHARACTER

### DESIGN STANDARDS

#### *General*

- Although the front façade of a building is expected to be the focal point in terms of level of architectural character and features, all sides of a buildings shall incorporate architectural detailing that complements the front façade and provides visual interest. Blank walls void of architectural detailing shall be prohibited.
- Multi-story buildings are strongly encouraged within the entry corridors to maximize the use of Steamboat's limited land area and promote a more compact, transit-supportive pattern of development. Where multi-story buildings are incorporated as part of a development, the following standards shall apply:
  - Upper-stories shall consist of usable space—"false", unoccupied upper floors designed to give the appearance of multiple floors are prohibited.
  - If a limited number of buildings within a particular development will have multiple stories—multi-story buildings or the portions of buildings that are multiple stories shall be concentrated at corners, along entry corridor roadway frontages, and near transit stops.

*Staff Analysis:* **Consistent.** The project proposes four-sided multi-storied buildings. All of the building facades incorporate architectural detailing, providing visual interest.

#### *Commercial and Mixed-Use Development*

- The perceived mass and scale of commercial buildings shall be reduced by incorporating a series of smaller design elements that are consistent with the development's architectural character. Design elements may include, but are not limited to at least 4 of the following:
  - Variations in roof form and parapet heights;
  - Pronounced recesses and projections;

- Wall plane off-sets;
- Distinct changes in texture and color of wall surfaces;
- Ground level arcades and second floor galleries/balconies;
- Protected and recessed entries; and
- Vertical accents or focal points.
- All buildings that are 3 stories or more in height shall incorporate a recognizable base, middle, and top through the use of changes in material, architectural accents, or other features.

*Staff Analysis:* **Consistent.** The architecture for Rollingstone Village employs numerous techniques including variations in roof form, protected and recessed entryways, pronounced building projections and lower level building elements to reduce the perceived mass and scale. The buildings have recognizable base, middle and top through architectural accents and general building form.

## TRANSPARENCY

### DESIGN STANDARDS

#### *Vertical commercial and Mixed-Use Development (multi-story)*

- Windows and/or transparent entrances shall be provided for vertical commercial and mixed-use development (multi-story) as follows:
  - Minimum of 40 percent of the total area of the ground floor front facade.
  - Minimum of 30 percent of the total area of each upper floor (all elevations.)
- Each of the above standards shall be as measured from floor to floor.

*Staff Analysis:* **Consistent.** The applicant has demonstrated that this standard has been met for all of the buildings.

## BUILDING MATERIALS

### DESIGN STANDARDS

#### *General*

- Building and roof materials shall be used in a manner that is consistent with their proven durability and the function of the architectural element on which they are placed.

#### *Permitted Materials*

- Permitted building and roof materials are listed in Table 3, on page 47. Materials shall only be permitted for use on the building elements listed.
- Additional materials may be considered provided they are of a comparable quality, durability, and character, as determined by city staff.

***Prohibited Materials***

- The following materials shall be prohibited from use on any building element:
  - Vinyl and aluminum siding;
  - Exterior Insulation and Finish Systems (EIFS);
  - Mosaic stonework veneer<sup>1</sup>;
  - Non-oxidizing, highly reflective metal finishes (e.g., simulated or treated copper);
  - Large scale pre-finished metal wall or column panel systems;
  - Profiled metal, clay, or concrete shingles with characteristics generally associated with “Spanish” tile/shingles;
  - Common asphalt composition shingles;
  - Stone-clad metal shingles;
  - Non-architectural exposed concrete; and
  - Mirrored or highly reflective glass or glazing.

***Staff Analysis:*** **Consistent.** The materials proposed are included in the allowable roof and materials chart contained in the Urban Design Standards.

## BUILDING AND ROOF COLORS

### DESIGN STANDARDS

***Primary Building and Roof Colors***

- Permitted primary building and roof colors may be applied to any building or roof element and shall consist of the following (*Figure 36*):
  - Dark reds and maroons;
  - Dark and sage greens;
  - Browns, sepias, and tans; or
  - Variations of the above colors that result from natural weathering or oxidation processes (rusts, grays, etc.).
- Alternative colors meeting the intent of this section are encouraged.

***Accent Building Colors***

- Accent building colors shall only be used on wall surfaces—not roofs. Accent building colors shall consist of the following:
  - Gray-blues;
  - Ochres, yellow-browns;
  - Light tans, off-whites;
  - Grays and dark grays; and

<sup>1</sup> Stone (particularly un-dressed irregular stone) applied to a wall in shapes and patterns that appear to be non-load bearing, but which simply provides a flat surface like flagstone laid vertically.

- Black.
- Bright or highly reflective variations of these colors are prohibited.
- Alternative colors meeting the intent of this section are encouraged.

### ***Metal Finishes***

- The use of metals in particular shall be limited to paints and coatings within the color range described above or natural finishes which derive their character from weathering and oxidation.
- No bright or highly reflective metal finishes shall be allowed on any material or building element.

Staff Analysis: **Consistent.** The material and roof colors proposed are permitted.

## **F. DEVELOPMENT AGREEMENT**

The applicant has requested an extended approval period for this project from the three (3) years permitted in the Community Development Code of seven (7) years. The CDC allows requests for vesting of property rights through the execution of a Development Agreement to be reviewed concurrently with the Final Development Plan. Staff is supportive of an increase in the vesting period because of the scale of the project and the current economic environment and the difficulties in obtaining credit but would recommend an alternative vesting period of five (5) years.

### **CDC Section 26-203(c)(2)**

Approval criteria. In reviewing and acting upon proposed development agreements, staff shall consider the approval criteria for the development application and the following additional approval criteria:

- a. Whether the benefit of the development agreement to the city outweighs the costs to the city; Staff Analysis: **Consistent** The requested additional approval period do not result in any additional costs to the City.
- b. Whether the development agreement is required to mitigate impacts that would otherwise make the proposed development unacceptable; and Staff Analysis: **Not Applicable** No impacts that would otherwise make the development unacceptable have been identified.
- c. Whether the city has received adequate assurances that the development will go forward as planned in return for any vesting of property rights beyond the three (3) year vesting period set forth in C.R.S. § 24-68-101 et seq. Staff Analysis: **Consistent** The applicant's commitment in both time and financial resources to secure the entitlements and the developers track record of project completion in Steamboat Springs provides adequate assurances that the

development will move forward.

## VII. ANALYSIS OF FLOOR AREA RATIO AND SETBACK VARIANCES

### Sec. 26-65 e(9) (a-e)

a. **Legal Use.** The property and the use of such property for which the variance is requested is in full compliance with all requirements of the zone district in which the property is located, or there is a legal nonconforming structure or lot, or there is a conforming structure housing a legal nonconforming use. No variance may be granted which would permit or expand any unlawful use of property.

*Staff Analysis: Consistent.* The Rollingstone Village project proposes to replace existing nonconforming uses with uses permitted through the CDC. The project is not proposing any structures that can not be legally permitted through the appropriate development process.

b. **Injury to Adjoining Property Mitigated.** The Variance will not permanently injure or adversely impact legal conforming uses of adjacent property; or the applicant has accurately assessed the impacts of the proposed Variance and has agreed to mitigate those impacts. In making this determination, the City Council shall begin with the assumption that variations from development standards create impacts on adjacent properties, and shall place the burden of proof on the applicant to show:

1. Impacts to adjacent properties are presumed.
2. That there are no impacts, or that the impacts have been adequately mitigated. Unsupported opinions of impacts from surrounding property owners shall not be conclusive evidence of impacts.

*Staff Analysis: Consistent.* The reduction in the side setback will be not be detrimental to the Safeway property. An increase in the allowable FAR does not appear to have any adverse impacts on neighboring properties.

c. **Advantages Outweigh Disadvantages.** The applicant shall bear the burden of proof and demonstrate that the advantages of the variance substantially outweigh its disadvantages to the community and to neighboring lands.

*Staff Analysis: Consistent.* The increased in gross square footage and the reductions in required setbacks does assist in creating a more urban style development. The articulation and modulation of the buildings achieves the desired effect on the building's mass and scale to compensate for their size.

d. **Superior Development.** The applicant shall demonstrate that the requested variation(s) from the dimensional or development standards will result in a development which better meets the intent of the underlying zone district and adopted plans.

*Staff Analysis:* **Consistent.** The increased density proposed with Rollingstone Village provides the residential critical mass necessary to support the mixed use program.

e. **Minimum Relief.** The applicant shall demonstrate that the requested variation(s) is (are) the least modification possible of the CDC that will meet the design goals of the development.

*Staff Analysis:* **Consistent.** The development does not exceed the maximum allowable height and has a Lot Coverage less than half of what is allowable demonstrating that the property is not being overbuilt. The requested variation is the least modification necessary to meet the goal of a successful missed-use project.

## **VIII. STAFF FINDINGS AND CONDITIONS**

Staff finds that the Rollinstone Village proposed development is consistent with the criteria for approval. The following motion is recommended.

### **Motion**

Planning Commission recommends approval of the Rollingstone Village #DPF-09-01 with the findings that the proposal is consistent with the criteria for approval with the following conditions of approval:

1. Civil construction plans prepared by a licensed Colorado civil engineer must be submitted to Public Works for review by Public Works, Planning, and Mt. Werner Water for review and approval prior to approval of any improvements agreement, building permit, or final plat and prior to the start of any construction. We recommend submitting the construction plans a minimum of five weeks prior to building permit application to allow time for review, comment response, and approval.
2. At time of civil construction plans submittal the traffic engineer must submit a stamped, Final Traffic Impact Study.
3. The developer shall pay a proportionate share of potential future traffic signal improvements at Steamboat Boulevard/Mt Werner intersection, calculated at 0.12% of \$500,000 or \$600. Payment shall be submitted prior to recordation of Final Plat or issuance of building permit, whichever comes first.
4. Applicant must dedicate all necessary drainage easements to accommodate public drainage thru the project site at time of first final condominium or townhome plat associated with this development approval. Specifically, the drainage easement



dedication for storm sewer along the southern and eastern property boundaries. In the event a final condominium or townhome plat never occurs for the approved development, then a separate final plat must be submitted, approved and recorded prior to approval of a CO/TCO for any permitted activity.

5. Applicant must dedicate a public access easement for all internal roads thru the project site at time of first final condominium or townhome plat associated with this development approval. In the event a final condominium or townhome plat never occurs for the approved development, then a separate final plat must be submitted, approved and recorded prior to approval of a CO/TCO for any permitted activity.
6. At time of first final condominium or townhome plat, the applicant must dedicate an emergency access easement for all internal roads and shall provide a note indicating the emergency access is to be kept free from any obstructions (i.e. landscaping, monuments, signs, etc) and be maintained as drivable for emergency access.
7. The sidewalk in front of Building A will be detached per Public Works standards if a bus shelter is not included in the Building Permit submittal.
8. At time of first final condominium or townhome plat, the applicant must dedicate a public access easement as depicted on the inset diagram on Sheet DPF2.1 of the plan set.
9. Any work within the mapped floodway will require both permits from the Army Corp of Engineers and a Floodplain Development Permit with accompanying no-rise certificate.
10. Any work within the mapped floodplain will require Floodplain Development Permit with elevation certificates, both pre and post construction.
11. The applicant will enter into a Development Agreement within sixty (60) days of final approval outlining any approved increase in the project's vesting period.
12. The following items to be identified on the construction plans are considered critical improvements and must be constructed prior issuance of any TCO or CO; they cannot be bonded:
  - Public drainage improvements
  - Public sidewalk improvements
  - Public roadway/intersection improvements and installation of street and traffic control signs
  - Access drive, driveway, and parking areas
  - Storm water quality features. (Vegetation must be established prior to CO when required as part of the feature design.)

**IX. ATTACHMENTS**

Attachment 1 – Application narrative

Attachment 2 – Project Submittal

Attachment 3-HPAC Staff Report, 11/24/09

Attachment 4-HPAC Meeting Minutes, 11/24/09

Attachment 5-June 12, 2008 Planning Commission Meeting Minutes

Attachment 6-July 1, 2008 City Council Meeting Minutes

# **ROLLINGSTONE VILLAGE**

## **PROJECT ANALYSIS**



**CITY OF STEAMBOAT SPRINGS  
DEVELOPMENT PERMIT REVIEW  
January 2, 2009**

## **BACKGROUND/ HISTORY**

Rollingstone Village is a proposed mixed-use development located at the US 40/ Pine Grove Road commercial node. The property is part of the Selbe Subdivision that was created in the late 1960's, and encompassed land from what is now McDonald's and east beyond Pine Grove Road. This subdivision included a parcel adjacent to Fish Creek that became an idyllic homestead for Jim Selbe and his family. Ownership of the parcel has changed, but the desirability for preserving the site remains.

Local developer Rollingstone Development Corp. is proposing re-development of the site with emphasis on preserving existing environmental and historical features. The design concept for Rollingstone Village is to create an intelligent and unique development inspired by the current introspective atmosphere of the site. The feeling of seclusion within the site creates a calming and natural experience that will serve as touchstone for the project.

The proposed design includes public amenities within the site to increase and enhance pedestrian circulation and transportation within the area. The proposed ROW improvements, passive recreational opportunities, and residential density will create a vibrant atmosphere within the commercial district.

The conceptual site plan and circulation plan was reviewed as a staff pre-application (TAC review) on January 22, 2008 and comments were discussed and reviewed. The comments were considered and a revised site plan, parking plan, and circulation plan were re-submitted and a pre-application hearings was held by the Planning Commission and City Council. Overall, both reviewing bodies were very supportive of the proposed development. Recommendations for the project included removing the proposed structures from the 50' water body setback, increase the setback distance from Safeway, and improve the proposed pedestrian connectivity within the proposed site plan.

All of the changes were considered and adjustments to the site plan have been made.

## **SITE HISTORY/ EXISTING CONDITIONS**

The 2.79 acre site is adjacent to the east side of Safeway and zoned Community Commercial (CC). The parcel has road frontage and existing vehicular access on both Pine Grove Road and Rollingstone Drive. Fish Creek is located along the northern boundary of the site and the CDC requires a 50' water body setback from the high water mark. The site is surrounded by commercial uses with Safeway to the west, Sundance at Fish Creek and Fish Creek Professional Office Buildings to the north (across Fish Creek), and Celebrity Resorts to the south (across Pine Grove Road).

The site is developed and includes the following existing structures and uses:

- 2 separate single- family uses;
- Small welding shop;
- Accessory structures.

Some of the existing structures are legally non-conforming for side setback encroachments, water body setback encroachments, and uses. There is an existing single-family residence within the 30' side setback adjacent to Safeway and there is an accessory structure associated with it that is considered a legal non-conforming use. Both structures are designated as historic and are proposed to be remodeled and renovated with this proposal. A second single-family structure and accessory structures exists within the 50' water body setback and are also considered legal non-conforming. An existing commercial structure (welding shop) exists within the front setback along Pine Grove Road as well.

In 2003 a proposal for an addition and remodel to the existing single- family residence adjacent to Safeway was reviewed by the City of Steamboat Springs Board of Adjustment. The proposal included a request to increase the existing west side setback encroachment with the proposed addition. The Board of Adjustment approved the proposal to allow the single- family structure to be within 5' of west property line but the approval expired in 2006.

Although Lot 6 is developed, there is a large amount of mature vegetation throughout the property. Evergreen trees, willows, aspens, cottonwoods, and groundcover make up the majority of the green space on the site. Over the years, landowners have taken great care to protect the evergreens from Pine and Spruce beetles, and today most of the large trees are in excellent condition, providing ample shade in the summer. This amount of vegetation in an otherwise developed commercial area provides a unique experience with rural character.

## **DESIGN CONCEPTS**

Rollingstone Village is a proposed infill project that includes new structures and the renovation of existing structures. The development is mixed use and includes residential and commercial uses. The site planning design goals commit to the preservation of the two primary existing historic structures, minimizing the tree loss, while providing adequate density to meet the economic requirements of the developer.

Historical preservation is also key concept of Rollingstone Village, as the two primary existing structures are being retained and incorporated into the overall concept. The application proposes modification to the primary residence by reducing the footprint and renovating the interior of the structure to accommodate a commercial use.

The application proposes to utilize the existing access from Pine Grove Road as two-way traffic and the existing Rollingstone Drive access is proposed as exit only. The internal circulation of the site is designed to accommodate deliveries, resort check-in, surface parking, emergency vehicle access, and pedestrian circulation. A primary component of the project is to create a pedestrian oriented environment by utilizing significant amount of green space, increasing landscaping, using materials associated with pedestrian plazas, and developing viable pedestrian connections to the surrounding commercial developments.

The proposed structures have been located in areas along the existing roadways and along the back of the Safeway Store. Since the majority of the mature trees and larger vegetation are on the interior of the site, the project has been laid out with buildings to the outermost of the site. This will allow for maximum preservation of green areas and vegetation. New proposed buildings have been sited to retain as many of the large conifer vegetation as feasible, and a commitment to minimizing surface paving has been made via two large underground parking structures. The proposed uses require a significant amount of parking and 70% of the proposed parking is located underground.

## **TRANSPORTATION AND CIRCULATION**

The site is located within an established commercial area and allows for pedestrian connectivity to surrounding retail development. The proposal includes sidewalks along Pine Grove Road and Rollingstone Drive as well as an internal trails and walkways along Fish Creek. From the exterior of the project the pedestrian experience will be similar to the Lincoln Avenue standard and will enhance the pedestrian experience along the Pine Grove Road corridor. The entrance to the project will create an inviting atmosphere and draw the pedestrian into the site to experience the natural beauty of the site.

From within project the circulation is oriented to the pedestrian. The majority of vehicular parking is located underground allowing for extensive landscaping and pedestrian walkways. The pedestrian circulation is located along the perimeter of the vehicular travel ways and connects the perimeter of the site to the internal commercial components. The pedestrian experience is then focused along Fish Creek. The proposed trail will be hard surface. The trail creates a viable connection to Safeway and the existing pedestrian connections at the Rollingstone Drive bridge.

Rollingstone Village is also proposing to enhance and re-locate the existing bus stop at Safeway. The application proposes a heated bus stop along the Pine Grove Road right-of-way in a similar location as the existing bus stop. The proposed transit facility would have similar architectural features a Rollingstone Village and would be incorporate the theme of the development.

## **ZONING AND CDC STANDARDS**

The Rollingstone Village site is zoned Community Commercial (CC). The proposed development is requesting dimensional standard variances from the required 30' west side setback and the .50 Floor Area Ratio. An additional encroachment into a portion of the 50' water body setback for the restoration and renovation of a historic structure is also requested. The following is an analysis of the water body setback variance criteria and the dimensional standard variance criteria.

**Rollingstone Village**  
**30' Side Setback Variance Criteria Analysis**

*Variance criteria. Development plans seeking variation from up to two (2) of the dimensional standards, development or subdivision standards listed in article V, development standards and article VII, subdivision standards, where such variances do not qualify as minor adjustments shall meet the following criteria for approval in addition to the criteria in subsections 26-65(e)(1)--(8):*

*a. Legal use. The property and the use of such property for which the variance is requested is in full compliance with all requirements of the zone district in which the property is located, or there is a legal nonconforming structure or lot, or there is a conforming structure housing a legal nonconforming use. No variance may be granted which would permit or expand any unlawful use of property.*

**Response:** The Rollingstone Village site consists of existing legal non-conforming structures and legal non-conforming uses within those structures. There is an existing single-family residence encroaching into the 30' side setback adjacent to Safeway and there is an accessory structure associated with the single-family residence that is considered a legal non-conforming use. The existing residence was granted a side setback variance for a 25' encroachment adjacent to Safeway. The approval expired in 2006 and was never constructed.

A second single-family structure and accessory structures exists within the 50' water body setback and are considered legal non-conforming. An existing commercial structure also encroaches within the front setback along Pine Grove Road. This structure is proposed to be removed and a transit facility would be constructed in close proximity to the original location of the commercial use.

The proposed residential and commercial uses are in conformance with the Community Commercial zone district. The proposed change of use would eliminate the existing legal non- conformity of a single family home.

*b. Injury to adjoining property mitigated. The variance will not permanently injure or adversely impact legal conforming uses of adjacent property; or the applicant has accurately assessed the impacts of the proposed variance and has agreed to mitigate those impacts. In making this determination the city council shall begin with the*

*assumption that variations from development standards create impacts on adjacent properties, and shall place the burden of proof on the applicant to show:*

*1. Impacts to adjacent properties are presumed.*

**Response:** There are two adjacent properties to the proposed development. Safeway is to the West and the Sundance at Fish Creek is across Fish Creek, to the North. The proposed side setback variance request is necessary because of the existing constraints caused by the historical structures, mature vegetation, and water body setback. The Safeway property is developed within the required CC zone district 30' side setback and the encroaching façade is a concrete wall painted as a light yellow. There are no existing openings on the encroaching façade and the grocery store functions occur on the three other facades of the building. We believe that the proposed 10' encroachment does not impact the adjacent parcels.

*2. That there are no impacts, or that the impacts have been adequately mitigated. Unsupported opinions of impacts from surrounding property owners shall not be conclusive evidence of impacts.*

**Response:** The proposed 20' side setback variance request has no impact to the adjacent Safeway property. The grocery store operations are located on the other facades.

*c. Advantages outweigh disadvantages. The applicant shall bear the burden of proof and demonstrate that the advantages of the variance substantially outweigh its disadvantages to the community and to neighboring lands.*

**Response:** The advantage of the requested 20' side setback variance is that it increases the amount of mature vegetation that will be undisturbed and allows the preservation of the historic structures.

*d. Superior development. The applicant shall demonstrate that the requested variation(s) from the dimensional or development standards will result in a development which better meets the intent of the underlying zone district and adopted plans.*

**Response:** The proposed variance results in a superior development that preserves historic structures and embraces the value of existing healthy trees. The proposed vehicular circulation of the site plan has been revised to reduce the amount of impervious material and increase green surface area. The existing 30' side setback in the CC zone district has been identified by staff as excessive and the proposed encroachment allows the developer to utilize areas that are less desirable for vegetation preservation.



*e. Minimum relief. The applicant shall demonstrate that the requested variation(s) is (are) the least modification possible of the CDC that will meet the design goals of the development.*

**Response:** The requested variance is the least modification of the CDC that will meet design goals of the development because the revised location of Bldg. F does not encroach into the 50' water body setback, increases the amount of mature vegetation to be preserved, and reduces the environmental impact created by impervious materials. A 10' side setback in the CC zone district is consistent with other zone districts within the City.

### **Rollingstone Village** **FAR Variance Criteria Analysis**

*Variance criteria. Development plans seeking variation from up to two (2) of the dimensional standards, development or subdivision standards listed in article V, development standards and article VII, subdivision standards, where such variances do not qualify as minor adjustments shall meet the following criteria for approval in addition to the criteria in subsections 26-65(e)(1)--(8):*

*a. Legal use. The property and the use of such property for which the variance is requested is in full compliance with all requirements of the zone district in which the property is located, or there is a legal nonconforming structure or lot, or there is a conforming structure housing a legal nonconforming use. No variance may be granted which would permit or expand any unlawful use of property.*

**Response:** The Rollingstone Village site consists of existing legal non-conforming structures and legal non-conforming uses within those structures. There is an existing single-family residence within the 30' side setback adjacent to Safeway and there is an accessory structure associated with the single-family residence that is considered a legal non-conforming use. A second single-family structure and accessory structures exists within the 50' water body setback and are considered legal non-conforming. An existing commercial structure exists within the front setback along Pine Grove Road as well. This structure is proposed to be removed and a transit facility would be constructed in close proximity to the original location of the commercial use.

The proposed residential and commercial uses are in conformance with the Community Commercial zone district.

*b. Injury to adjoining property mitigated. The variance will not permanently injure or adversely impact legal conforming uses of adjacent property; or the applicant has accurately assessed the impacts of the proposed variance and has agreed to mitigate those impacts. In making this determination the city council shall begin with the assumption that variations from development standards create impacts on adjacent properties, and shall place the burden of proof on the applicant to show:*

*1. Impacts to adjacent properties are presumed.*

**Response:** There are two adjacent properties to the proposed development. Safeway is to the West and the Sundance at Fish Creek is across Fish Creek, to the North. The proposed FAR variance request will create an abundance of residential units within an existing commercial node. The proposed FAR variance will stimulate the commercial activity of Safeway and Fish Creek at Sundance.

*2. That there are no impacts, or that the impacts have been adequately mitigated. Unsupported opinions of impacts from surrounding property owners shall not be conclusive evidence of impacts.*

**Response:** The proposed FAR variance request has no impact to the surrounding area. The proposed lot coverage is approximately ½ of the allowed footprints. The proposed height is within the allowable 63' overall height limit. The proposed parking is approximately 70% underground and allows the increase in height to be permitted. The proposed increase in the FAR will provide a vibrant development with consistent activity. The Community Area Plan and CDC promote the increase of residential density in commercial nodes to promote activity. The majority of the proposed FAR variance is for the creation of residential units.

*c. Advantages outweigh disadvantages. The applicant shall bear the burden of proof and demonstrate that the advantages of the variance substantially outweigh its disadvantages to the community and to neighboring lands.*

**Response:** The advantage of the requested FAR variance is that it creates a vibrant development while preserving a significant amount of the existing mature vegetation and historic structures.

*d. Superior development. The applicant shall demonstrate that the requested variation(s) from the dimensional or development standards will result in a development which better meets the intent of the underlying zone district and adopted plans.*

**Response:** The proposed variance results in a superior development creating a very vibrant development that will be economically sustainable and meets the City development standards. The unique features of the site warrant a development that preserves historic structures and embraces the value of existing healthy trees. The proposed FAR variance request will enable the developer to create a sustainable development that will improve the Pine Grove Road commercial node because of the increased density, pedestrian connections, and transit facility. The Community Area Plan encourages density increases on infill sites as long as the intent of the CDC has been met with the ability to meet the development standards of the CC zone district. The proposed variance request accomplishes the goals of the Community Area Plan but requires a variance from the CC zone district standard.

*e. Minimum relief. The applicant shall demonstrate that the requested variation(s) is (are) the least modification possible of the CDC that will meet the design goals of the development.*

**Response:** The requested variance is the least modification of the CDC that will meet the design goals of the development. The design of the development has centered around the existing structures and preservation of the mature vegetation in accordance with Sec. 26-183c. The overall concept for architecture has been to develop mass and density as the proximity increases away from the existing structures. The greatest height and density is at the perimeter of the site and transitions to the existing smaller structure as a focal point at the center of the site.

The proposed FAR increase has been proposed because of the ability to meet the development standards of the CDC while increasing density on the site. The increased density will enhance the vitality and sustainability of Rollingstone Village and the surrounding commercial node.

# DEVELOPMENT PLAN FINAL

## FOR

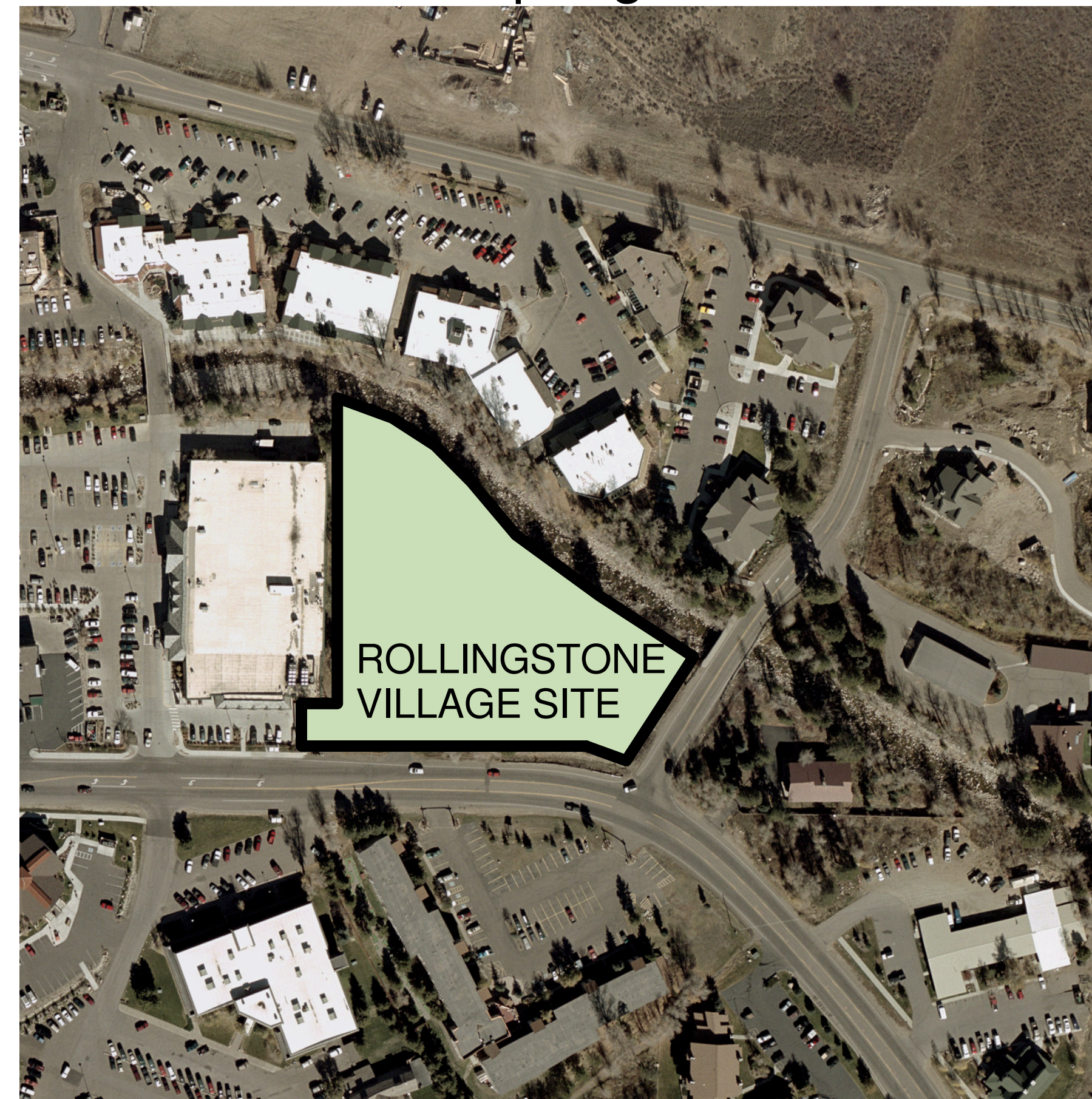
Lot 6, Selbe Subdivision, Filing #1  
also known as

# Rollingstone Village

1480 Pine Grove Road  
Steamboat Springs, Colorado

WINDOW CALCULATION					
Building 'A'	Building 'B-C'		Building 'D'	Building 'F'	
<b>Main Floor</b>	<b>Main Floor</b>	<b>Main Floor</b>	<b>Main Floor</b>	<b>Main Floor</b>	<b>Main Floor</b>
Walls: 2488.33	Walls: 3613.7	Walls: 2123	Walls: 4174		
Windows: 1737.75	Windows: 2430.9	Windows: 932	Windows: 1791		
	40.22%	43.90%	42.90%		
<b>Second Floor</b>	<b>Second Floor</b>	<b>Second Floor</b>	<b>Second Floor</b>	<b>Second Floor</b>	<b>Second Floor</b>
Walls: 3792.32	Walls: 2697.8	Walls: 400	Walls: 4143		
Windows: 1982.1	Windows: 1909.2	Windows: 302	Windows: 1255		
	41.44%	75.50%	30.29%		
<b>Third Floor</b>	<b>Third Floor</b>	<b>Third Floor</b>	<b>Third Floor</b>	<b>Third Floor</b>	<b>Third Floor</b>
Walls: 2333.3	Walls: 3980	Walls: n/a	Walls: 4350		
Windows: 1528.25	Windows: 2569.2	Windows: n/a	Windows: 1345		
	39.23%		30.90%		
<b>Fourth Floor</b>	<b>Fourth Floor</b>	<b>Fourth Floor</b>	<b>Fourth Floor</b>	<b>Fourth Floor</b>	<b>Fourth Floor</b>
Walls: 2102.17	Walls: 4242.2	Walls: n/a	Walls: 3760		
Windows: 1300.75	Windows: 1864.4	Windows: n/a	Windows: 1275		
	38.22%		33.90%		

Rollingstone Village Zoning Information Table		
STANDARD	CC ZONE DISTRICT REQUIREMENT	ROLLINGSTONE VILLAGE
<b>Lot Area</b>	Max. 22,000 sq. ft./ 3,000 sq. ft. min.	2.8 acres= 121,968 sq.ft.
<b>Lot Coverage</b>	.50- 60,984 sq. ft.	.24- 30,088 sq. ft.
<b>FAR</b>	.50 Res. unit- 1,400 sq. ft.	.83- 100,687 sq. ft.
<b>Building Height</b>	APH- 35' OH- 57' Underground parking- 63'	APH- OH- 63'
<b>Front Setback</b>	P- 20' Acc.- 20'	P- 20'
<b>Side Setback</b>	P- 30' Acc.- 30'	P- 10'
<b>Rear Setback</b>	P- 20' Water body- 50'	Water body- 50' (exception for historic structure criteria variance)
<b>Number of Units</b>		61 residential 7 commercial
<b>Parking Spaces</b>	1/ 300 sq. ft. for commercial 1/150 sq. ft. for restaurant 1-2 spaces per residential  105 spaces/ res. 41 spaces/ comm. 146 spaces  22 space credit per proximity to transit facilities  3 space credit for bike racks  25 space reduction per CDC <b>121 spaces required</b>	107 Underground Spaces 23 Surface Spaces <b>130 spaces provided</b>
<b>Snow Storage</b>		Snowmelt hard surfaces



Drawing List	
Sheet Number	Sheet Name
DPF1.1	COVER SHEET
DPF2.1	SITE PLAN
DPF2.2	HEIGHT CALCULATION
DPF3.1	BUILDING ELEVATIONS
DPF3.2	BUILDING ELEVATIONS
DPF4.1	LANDSCAPE PLAN RENDERING
DPF4.2	LANDSCAPE PLAN
DPF4.3	SITE LIGHTING & AMENITIES PLAN
DPF4.4	SITE DETAILS
DPF6.1	EXISTING CONDITIONS PLAN
DPF7.1	FINAL UTILITY PLAN
DPF8.1	FINAL GRADING AND DRAINAGE PLAN
DPF8.2	FINAL GRADING AND DRAINAGE DETAILS
DPF8.3	PINE GROVE & ROLLINGSTONE STRIPING IMPROVEMENTS
DPF8.4	STRIPING IMPROVEMENTS W/ AERIAL PHOTO
DPF9.1	SHADOW PLANS
DPF10.1	UNDER- GROUND PARKING FLOOR PLAN
DPF10.2	MAIN FLOOR PLANS
DPF10.3	SECOND FLOOR PLANS
DPF10.4	THIRD FLOOR PLANS
DPF10.5	FOURTH FLOOR PLANS
DPF10.6	ROOF PLANS
DPF11.1	BUILDING/SITE SECTIONS
DPF11.2	SOUTHEAST AERIAL
DPF11.3	SOUTHWEST AERIAL
DPF11.4	PERSPECTIVES
DPF11.5	PERSPECTIVES
FP.01	FIRE PROTECTION ACCESS PLAN

**VERTICAL ARTS**  
Architecture  
Design · Planning · Strategy

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DEVELOPMENT PLAN FINAL PREPARED:

THE ATTACHED DEVELOPMENT FOR ROLIINGSTONE VILLAGE WAS APPROVED ON \_\_\_\_\_ BY \_\_\_\_\_

THE ROLLINGSTONE VILLAGE DEVELOPMENT PLAN EXPIRES ON \_\_\_\_\_.

**Rollingstone Village**  
1480 Pine Grove Road  
Steamboat Springs, Colorado  
#0718



DIRECTOR OF PLANNING SERVICES

NAME: TOM LEESON  
TITLE: DIRECTOR OF PLANNING SERVICES  
ADDRESS: PO BOX 775088  
STEAMBOAT SPRINGS, CO 80477

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

CONDITIONS OF APPROVAL		
CONDITION NUMBER	DESCRIPTION	DEPARTMENT PLACING CONDITION

APPLICANT/OWNER

NAME: ROLLINGSTONE DEVELOPMENT CORPORATION  
ATTN: PETER KREISSIG  
ADDRESS: PO BOX 882078  
STEAMBOAT SPRINGS, CO 80488

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PREPARER OF DEVELOPMENT PLANS

NAME: VERTICAL ARTS  
ATTN: BRANDT VANDERBOSCH  
ADDRESS: P.O. BOX 774842, 929 LINCOLN  
STEAMBOAT SPRINGS, CO 80477

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_



ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

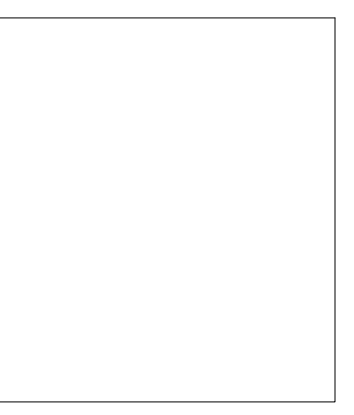
DRAWING TITLE

**COVER SHEET**

SHEET NO.

**DPF1.1**

**NOT FOR CONSTRUCTION**



**Rollingstone Village**  
 1480 Pine Grove Road  
 Steamboat Springs, Colorado  
 #0718

**SITE AMENITIES LEGEND**

- BIKE RACK
- FLOWERPOT
- TRASH RECEPTACLE
- BOLLARD
- STONE BENCHES
- DUAL RECEPTACLE
- EXTERIOR RATED RECESSED WALL LIGHT
- BOLLARD LIGHT
- STREET LIGHT

**SITE PLAN LEGEND**

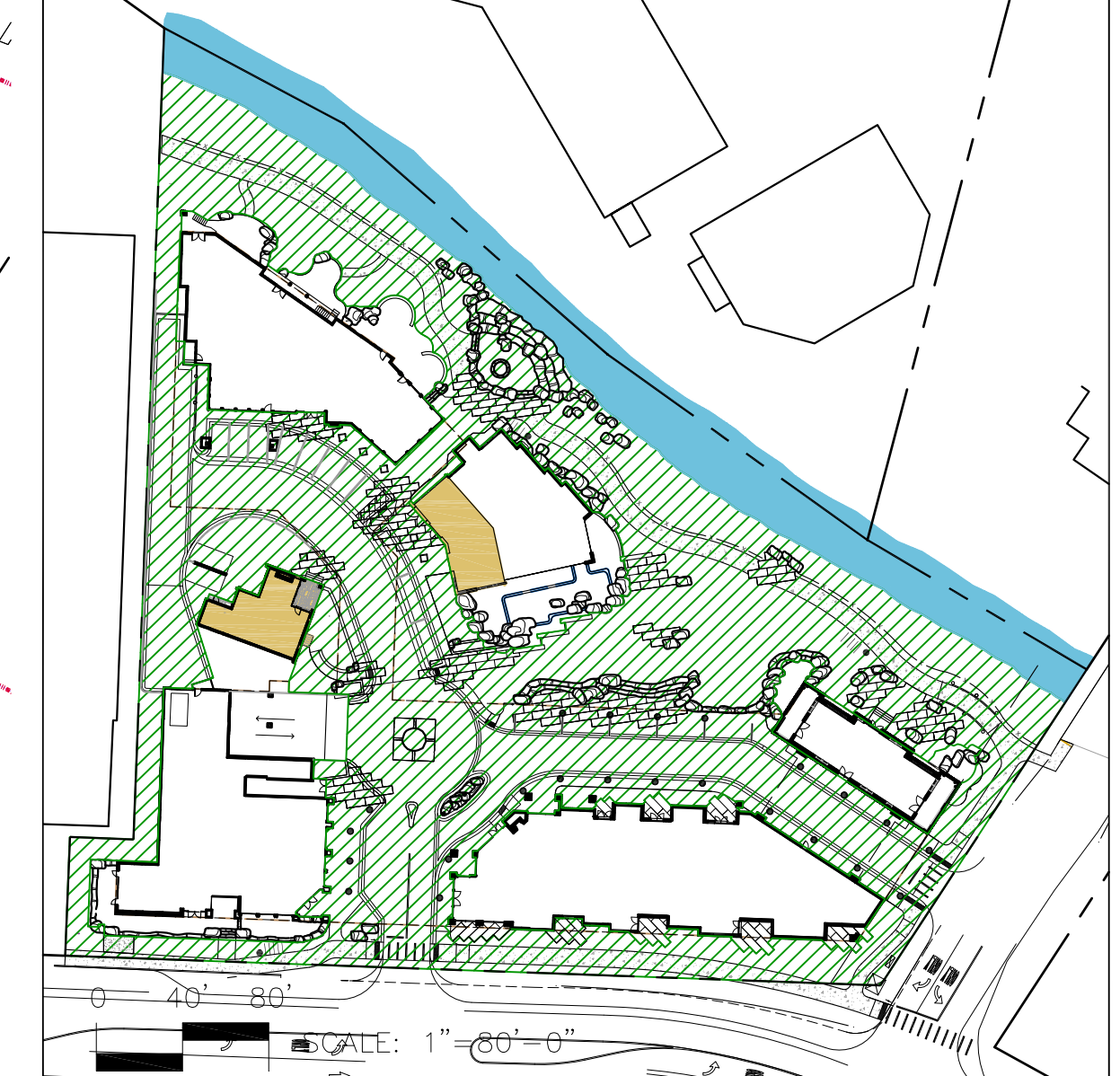
- PROPERTY LINE
- EASEMENTS
- FENCE
- EXISTING BACK OF CURB AND FLOWLINE
- EXISTING GUARDRAIL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UNDERGROUND SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE AND CLEANOUT
- EXISTING UNDERGROUND WATER LINE
- EXISTING WATER MANHOLE AND CURB STOP
- EXISTING GATE VALVE AND FIRE HYDRANT
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING ELECTRIC TRANSFORMER AND SECONDARY PEDESTAL
- EXISTING LIGHT POLE
- EXISTING CABLE TELEVISION PEDESTAL
- EXISTING FLOODPLAIN
- EXISTING FEMA FLOODWAY
- EXISTING HIGH WATER MARK
- 50' HIGH WATER SETBACK
- EFFECTIVE OPEN SPACE LIMITS
- EXISTING WETLANDS
- EXISTING EVERGREEN TREES
- EXISTING DECIDUOUS TREES
- PROPOSED SNOWMELT AREA
- EXISTING BUILDINGS

**SITE PLAN NOTES:**

1. THIS DRAWING IS FOR OBTAINING PLANNING APPROVAL ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OR CONTRACTING PURPOSES.
2. IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 22" x 34", THE GRAPHIC SCALE SHOULD BE UTILIZED.
3. EXISTING SITE INFORMATION PER SURVEY PERFORMED BY LANDMARK CONSULTANTS, INC.
4. WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WILL BE REQUIRED PRIOR TO CONSTRUCTION FOR ANY OFFSITE IMPROVEMENTS OR DISTURBANCES.
5. LOT 6 IS 2.79 ACRES AND IS ZONED CC, COMMUNITY COMMERCIAL.
6. TRASH AREA, LOADING DOCK AND RECYCLING AREA TO BE LOCATED INSIDE BUILDING A.
7. ALL ON-SITE DRIVES, WALKS, AND PATIOS ARE TO BE SNOWMELTED. NO ON-SITE SNOW STORAGE WILL BE REQUIRED.
8. PROPOSED CREEK FRONTAGE OPEN SPACE = 24,400 SQUARE FEET. PROPOSED PARK OPEN SPACE = 8,700 SQUARE FEET.

**PUBLIC EASEMENT AREAS**

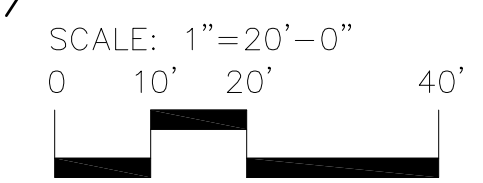
PUBLIC EASEMENT AREAS



ISSUE NAME	DATE
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	01.05.09
DPF REVISIONS	02.06.09

DRAWING TITLE  
**SITE PLAN**

SHEET NO.  
**DPF2.1**



SAFEWAY  
 LEASE PER BOOK 764  
 AT PAGE 671

NOT FOR CONSTRUCTION



**VERTICAL ARTS**  
 Architecture Design-Planning-Strategy

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 www.vertical-arts.com



**Rollingstone Village**  
 1480 Pine Grove Road  
 Steamboat Springs, Colorado  
 #0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

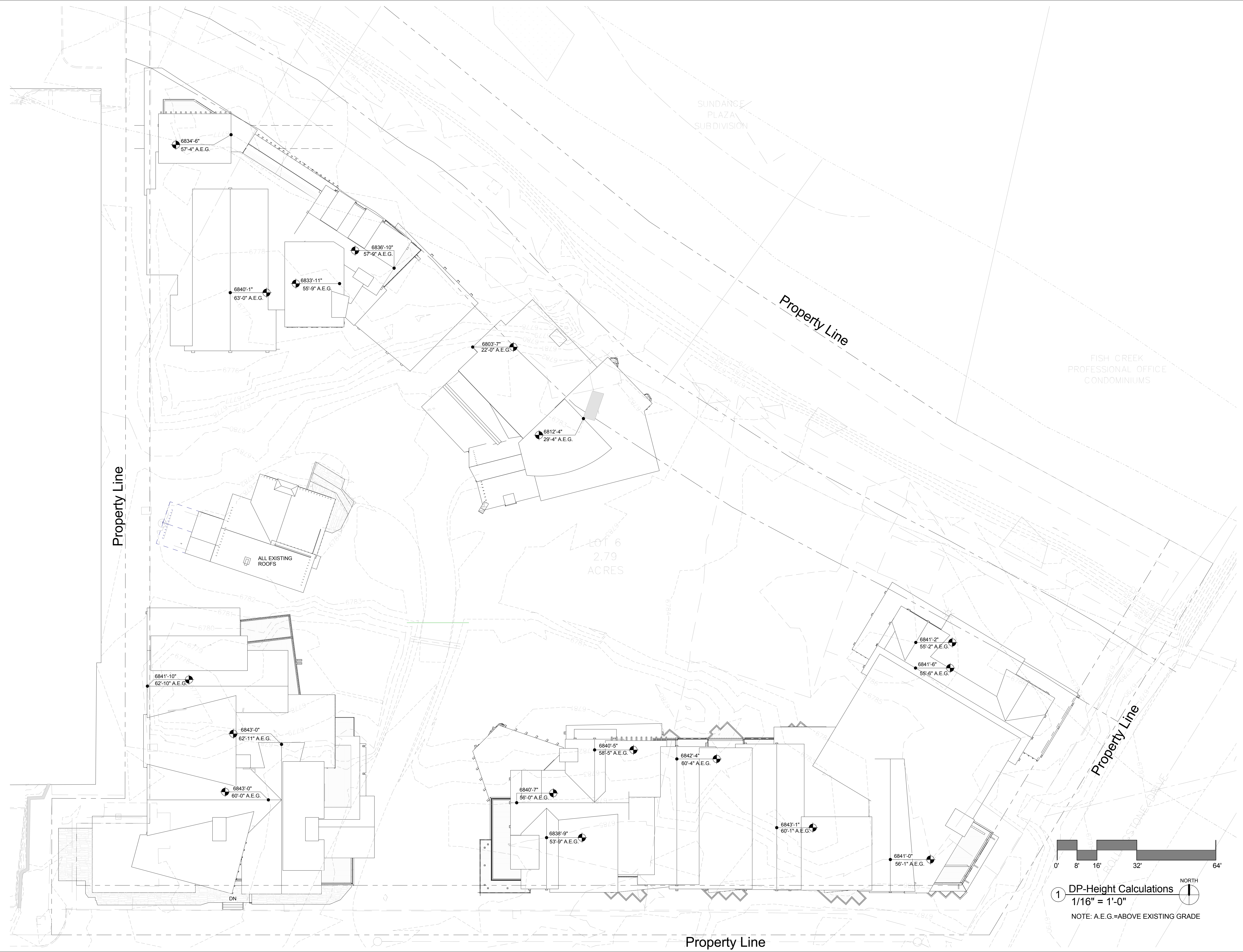
DRAWING TITLE  
**HEIGHT CALCULATION**

SHEET NO.

**DPF2.2**

2/16/2009 2:27:33 PM

**NOT FOR CONSTRUCTION**



① DP-Height Calculations  
 1/16" = 1'-0"  
 NOTE: A.E.G.=ABOVE EXISTING GRADE

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DRAWING TITLE	<b>BUILDING ELEVATIONS</b>
SHEET NO.	<b>DPF3.1</b>
<small>2/16/2009 2:40:46 PM</small>	

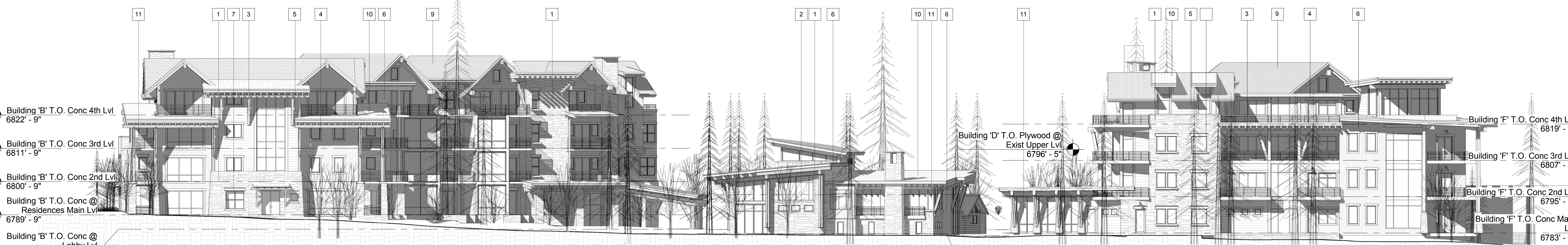
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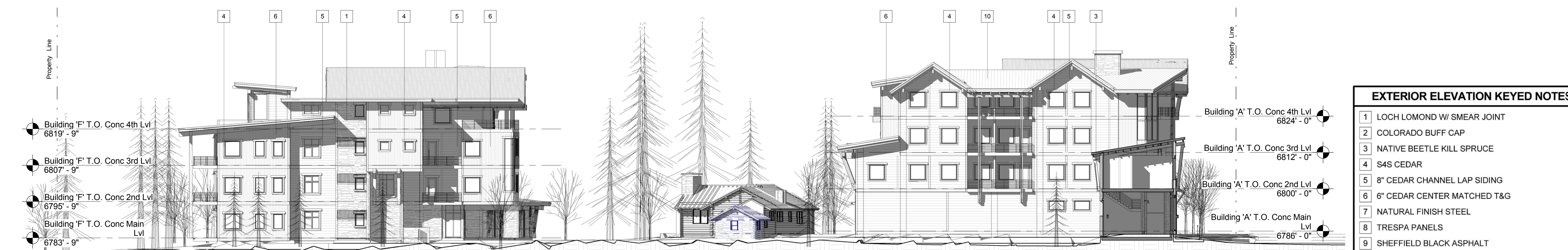
① **Pine Grove Road Elevation**  
 1/16" = 1'-0"



② **North Elevation**  
 1/16" = 1'-0"



③ **RIVER ELEVATION**  
 1/16" = 1'-0"

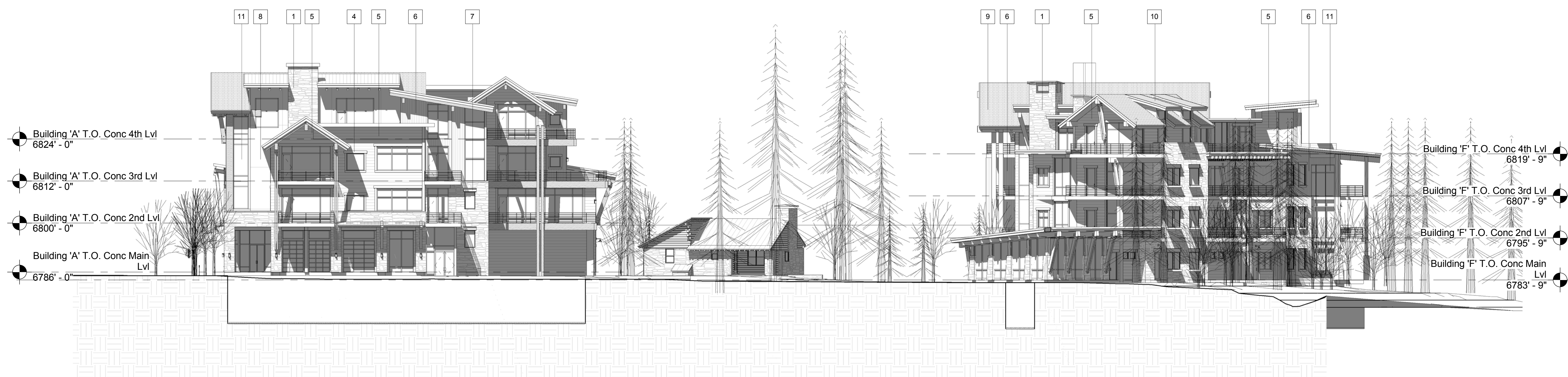


⑤ **WEST ELEVATION**  
 1/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES	
1	LOCH LOMOND W/ SMEAR JOINT
2	COLORADO BUFF CAP
3	NATIVE BEETLE KILL SPRUCE
4	S4S CEDAR
5	8" CEDAR CHANNEL LAP SIDING
6	6" CEDAR CENTER MATCHED T&G
7	NATURAL FINISH STEEL
8	TRESPA PANELS
9	SHEFFIELD BLACK ASPHALT
10	SLATE GRAY CORRUGATED METAL
11	CHESTNUT BRONZE CLADDIED WINDOW



① **Rollingstone Drive EAST ELEVATION**  
1/16" = 1'-0"



② **Building 'A', 'E' and 'F' East Elevation**  
1/16" = 1'-0"



③ **Building 'F' and 'D' South Elevation**  
1/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES	
1	LOCH LOMOND W/ SMEAR JOINT
2	COLORADO BUFF CAP
3	NATIVE BEETLE KILL SPRUCE
4	S4S CEDAR
5	8" CEDAR CHANNEL LAP SIDING
6	6" CEDAR CENTER MATCHED T&G
7	NATURAL FINISH STEEL
8	TRESPA PANELS
9	SHEFFIELD BLACK ASPHALT
10	SLATE GRAY CORRUGATED METAL
11	CHESTNUT BRONZE CLADDED WINDOW

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DRAWING TITLE  
**BUILDING ELEVATIONS**

SHEET NO.  
**DPF3.2**

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**Rollingstone Village**  
1480 Pine Grove Road  
Steamboat Springs, Colorado  
#0718

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**LANDSCAPE PLAN LEGEND**

- PROPERTY LINE
- EASEMENTS
- FENCE
- EXISTING BACK OF CURB AND FLOWLINE
- EXISTING GUARDRAIL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UNDERGROUND SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE AND CLEANOUT
- EXISTING UNDERGROUND WATER LINE
- EXISTING WATER MANHOLE AND CURB STOP
- EXISTING GATE VALVE AND FIRE HYDRANT
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING ELECTRIC TRANSFORMER AND SECONDARY PEDESTAL
- EXISTING LIGHT POLE
- EXISTING CABLE TELEVISION PEDESTAL
- EXISTING FLOODPLAIN
- EXISTING FEMA FLOODWAY
- 50' HIGH WATER MARK
- 50' HIGH WATER SETBACK
- EFFECTIVE OPEN SPACE LIMITS
- EXISTING WETLANDS
- EXISTING BUILDINGS

**GRAPHIC PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME
	PICEA PUNGENS	COLORADO SPRUCE
	PICEA PUNGENS	COLORADO SPRUCE
	PICEA PUNGENS	COLORADO SPRUCE
	PINUS ARISTATA	BRISTLECONE PINE
	POPULUS TREMULOIDES	ASPEN
	POPULUS TREMULOIDES	ASPEN
	PICEA MONTGOMERY	SHUBERT CHOKECHERRY
	PICEA MONTGOMERY	MONTGOMERY SPRUCE
	CORNUS STOLONIFERA	REDTIG DOGWOOD
	SORBARIA SORBIFOLIA	URAL FALSE SPIREA
	VIBURNUM PRUNIFOLIUM	BLACKHAM VIBURNUM
	PRUNUS X CISTENA	PURPLE LEAF PLUM
	JAMESIA AMERICANA	WAXFLOWER
	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS
	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS
	NOLINA MICROCARPA	BEAR GRASS
	FESTUCA GLAUCA 'BOULDER BLUE'	BLUE FESCUE GRASS
	REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASS AND WILDFLOWER SEED MIX.	
	ASSORTED GROUND COVERS AND PERENNIAL FLOWERS	
	LAWN	
	RIPARIAN PLANTINGS	
	EXISTING EVERGREEN TREES	
	EXISTING DECIDUOUS TREES	

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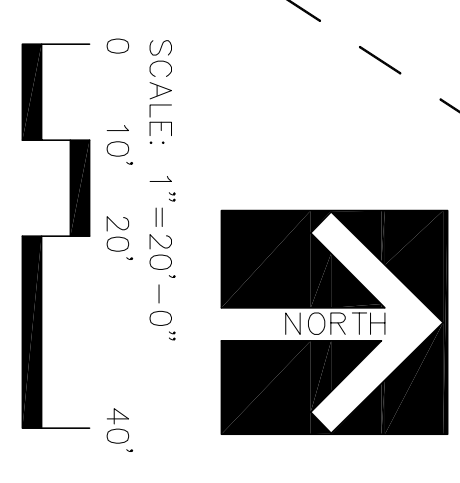
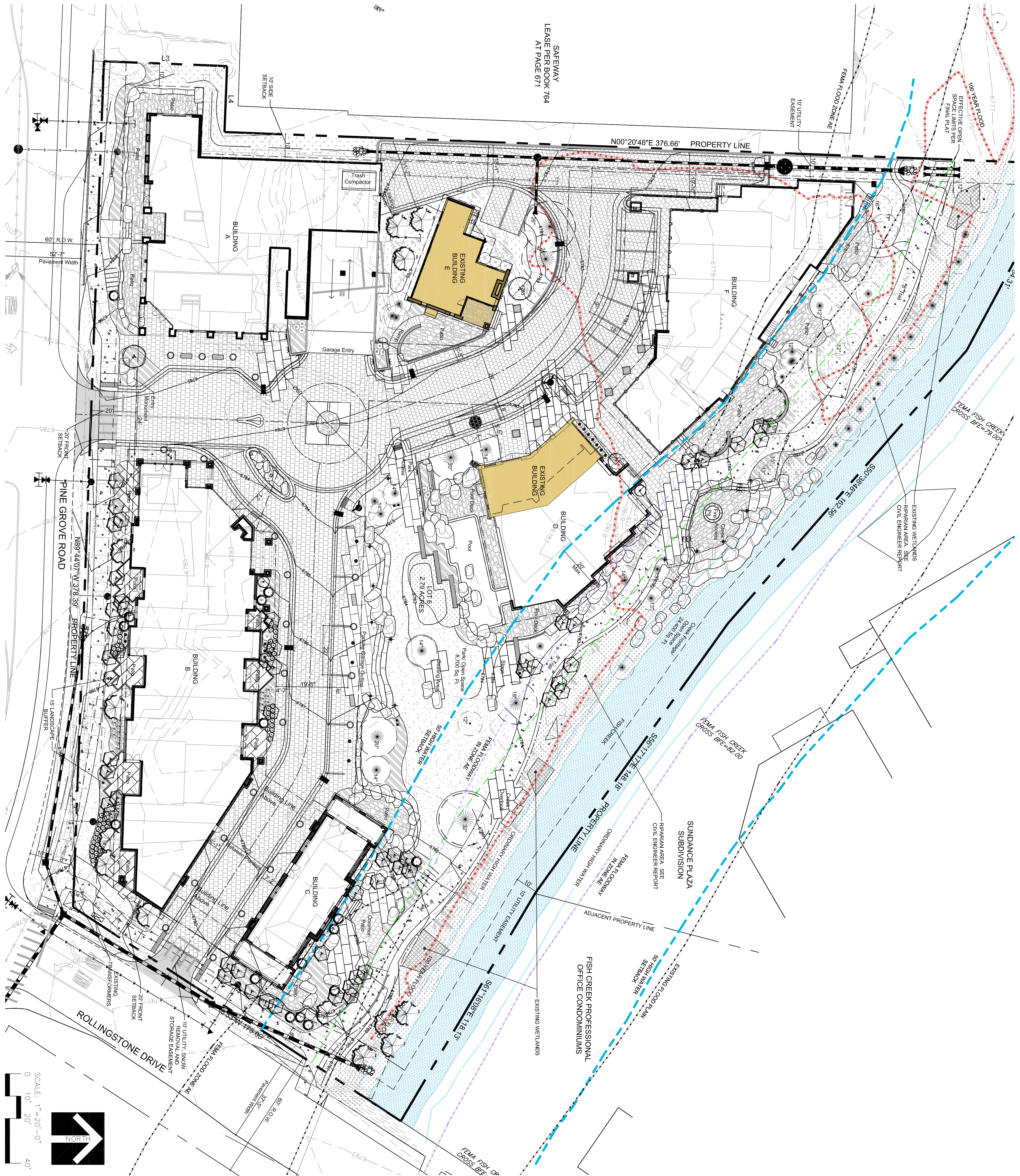
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DRAWING TITLE  
**LANDSCAPE PLAN RENDERING**

SHEET NO.  
**DPF4.1**

NOT FOR CONSTRUCTION



**LANDSCAPE PLAN LEGEND**

	PROPERTY LINE
	EASEMENTS
	FENCE
	EXISTING BACK OF CURB AND FLOW LINE
	EXISTING GUARDRAIL
	6800
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING UNDERGROUND SANITARY SEWER LINE
	EXISTING UNDERGROUND WATER LINE
	EXISTING WATER MANHOLE AND CURB STOP
	EXISTING GATE VALVE AND FIRE HYDRANT
	EXISTING OVERHEAD UTILITY LINES
	EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING ELECTRIC TRANSFORMER AND SECONDARY PESTAL
	EXISTING LIGHT POLE
	EXISTING CABLE TELEVISION PEDESTAL
	EXISTING FLOODPLAIN
	EXISTING FEMA FLOODWAY
	EXISTING HIGH WATER MARK
	50' HIGH WATER SETBACK
	EFFECTIVE OPEN SPACE LIMITS
	EXISTING WETLANDS
	EXISTING BUILDINGS

**GRAPHIC PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME
	PICEA PUNGENS	COLORADO SPRUCE
	PICEA PUNGENS	COLORADO SPRUCE
	PINUS ARISTATA	BRISTLECOCK PINE
	POPULUS TREMULOIDES	ASPEN
	POPULUS TREMULOIDES	ASPEN
	PICEA MONTGOMERYI	SUBERT CHOKECHERRY
	CORNUS STOLONIFERA	MONTGOMERY SPRUCE
	SORBARIA SORBIFOLIA	REDTWIN DOGWOOD
	VIBURNUM PRUNIFOLIUM	URAL FALSE SPIREA
	PRUNUS X CISTENA	BLACKHAM VIBURNUM
	JAPANESE AMERICAN	PURPLE LEAF PLUM
	MISCANTHUS SINENSIS	MAKTOLOVER
	SCHIZACHYRIUM	LITTLE BLUESTEM GRASS
	NOLINA MICROCARPA	BEAR GRASS
	FESTUCA GLAUCA	BLUE FESCUE GRASS
	BOULDER BLUE	BLUE FESCUE GRASS
	REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASS AND WILDFLOWER SEED MIX ASSORTED GROUND COVERS AND PERENNIAL FLOWERS	
	LAWN	
	RIPIARIAN PLANTINGS	
	EXISTING EVERGREEN TREES	
	EXISTING DECIDUOUS TREES	

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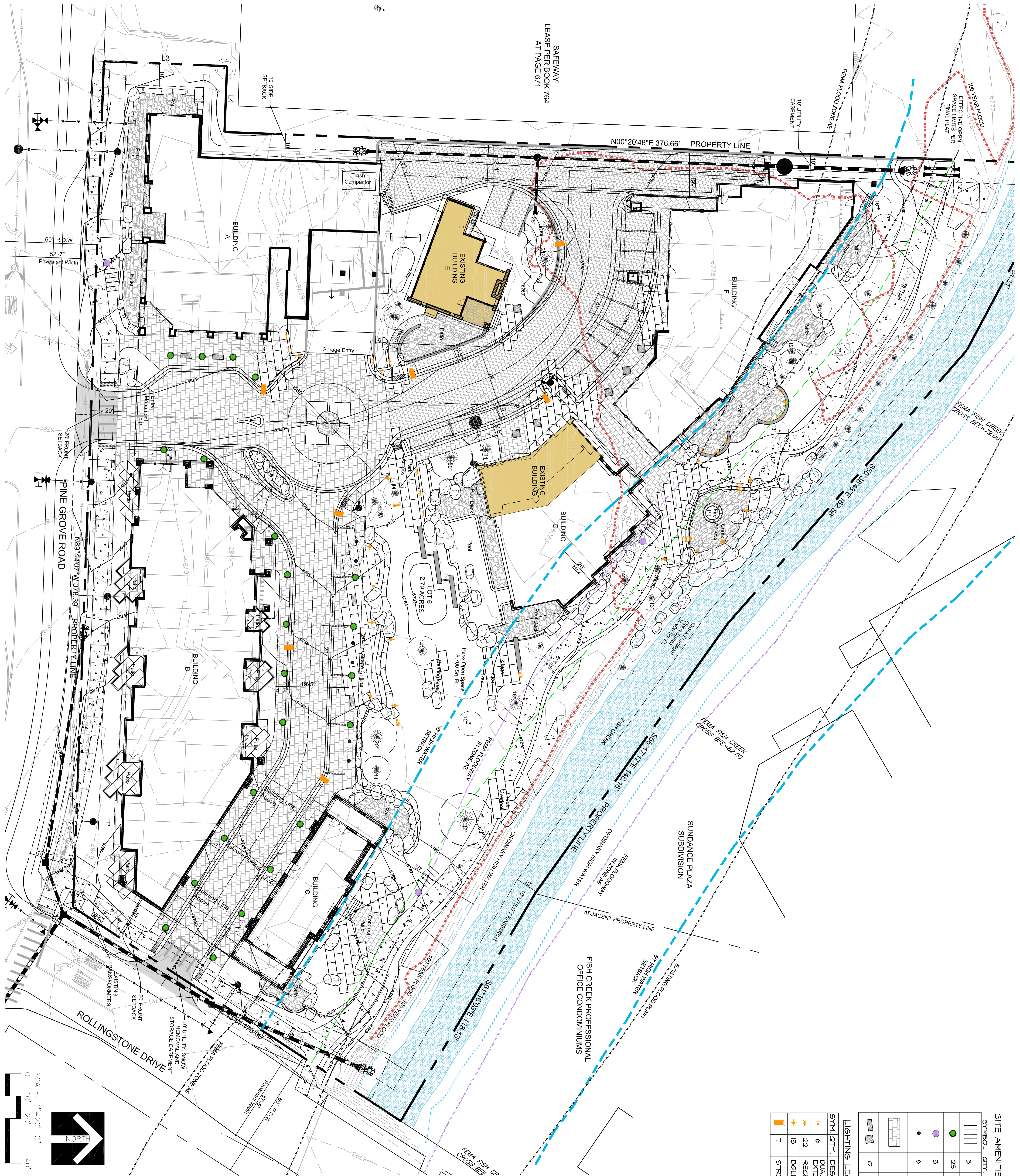
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DRAWING TITLE  
**LANDSCAPE PLAN**

SHEET NO.  
**DPF4.2**



**SITE AMENITIES LEGEND**

SYMBOL	QTY	DESCRIPTION
	3	BIKE RACK
●	23	FLOWERPOT
●	3	TRASH RECEPTACLE
●	6	BOLLARD
■		PAVERS: PAVESTONE, VENEZIAN, STONE, TYPED COLOR, MINNER BLEND & BUFF/HANCOCKAL
■	10	STONE BENCHES

**LIGHTING LEGEND**

SYM	QTY	DESCRIPTION	MANUF.	MODEL
■	6	DUAL RECEPTACLE EXTERIOR RATED	FX LUMINAIRE	LM-20
■	22	RECESSED WALL LIGHT	SHARPER LIGHTING	402-HHS
■	3	BOLLARD LIGHT	FALL KNER WORKS	STREET LIGHT
■	1	STREET LIGHT		

**SITE PLAN LEGEND**

- PROPERTY LINE
- EASEMENTS
- FENCE
- EXISTING BACK OF CURB AND FLOWLINE
- EXISTING GUARDRAIL
- EXISTING MAJOR CONTOUR
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE AND CLEANOUT
- EXISTING WATER MANHOLE AND CURB STOP
- EXISTING GATE VALVE AND FIRE HYDRANT
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING ELECTRIC TRANSFORMER AND SECONDARY FEEDS
- EXISTING LIGHT POLE
- EXISTING CABLE TELEVISION FEEDS
- EXISTING FLOODPLAIN
- EXISTING FEMA FLOODWAY
- EXISTING HIGH WATER MARK
- 50' HIGH WATER SETBACK
- EFFECTIVE OPEN SPACE LIMITS
- EXISTING WETLANDS
- EXISTING EVERGREEN TREES
- EXISTING DECIDUOUS TREES
- EXISTING BUILDINGS

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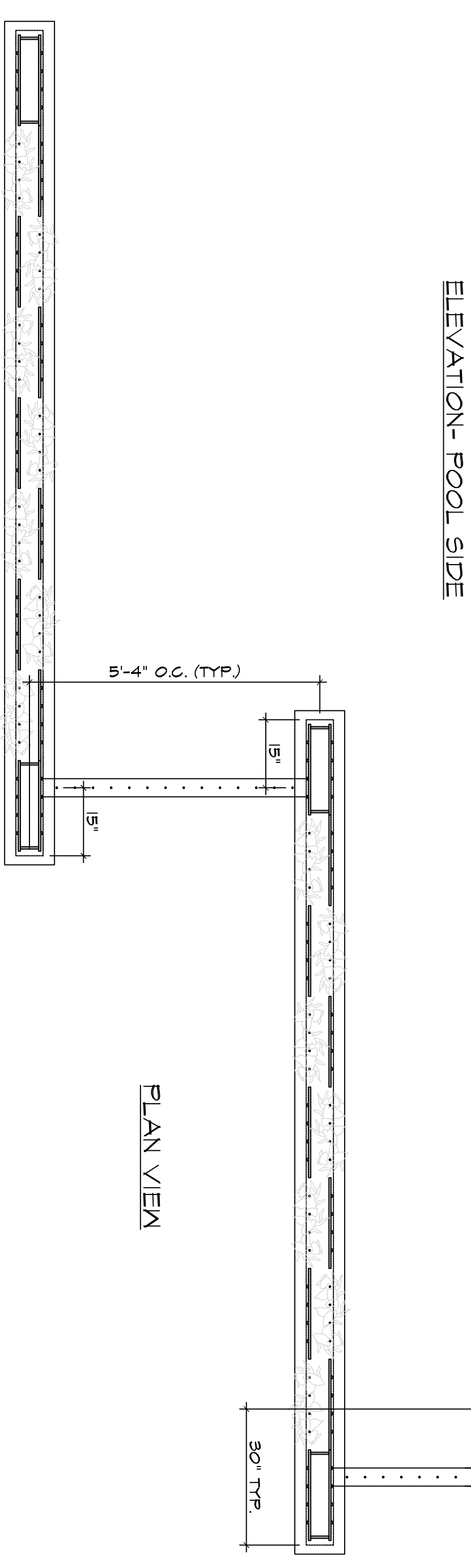
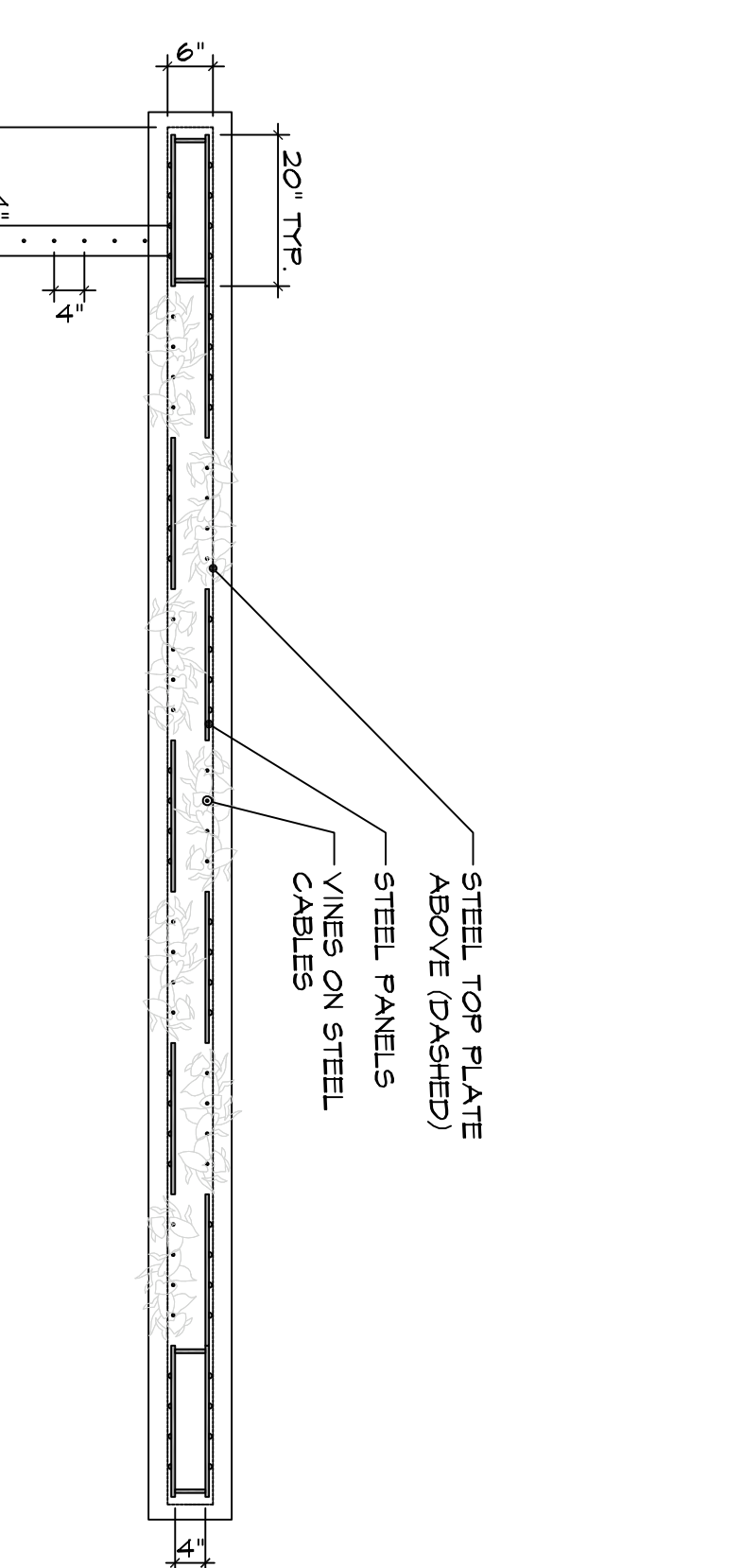
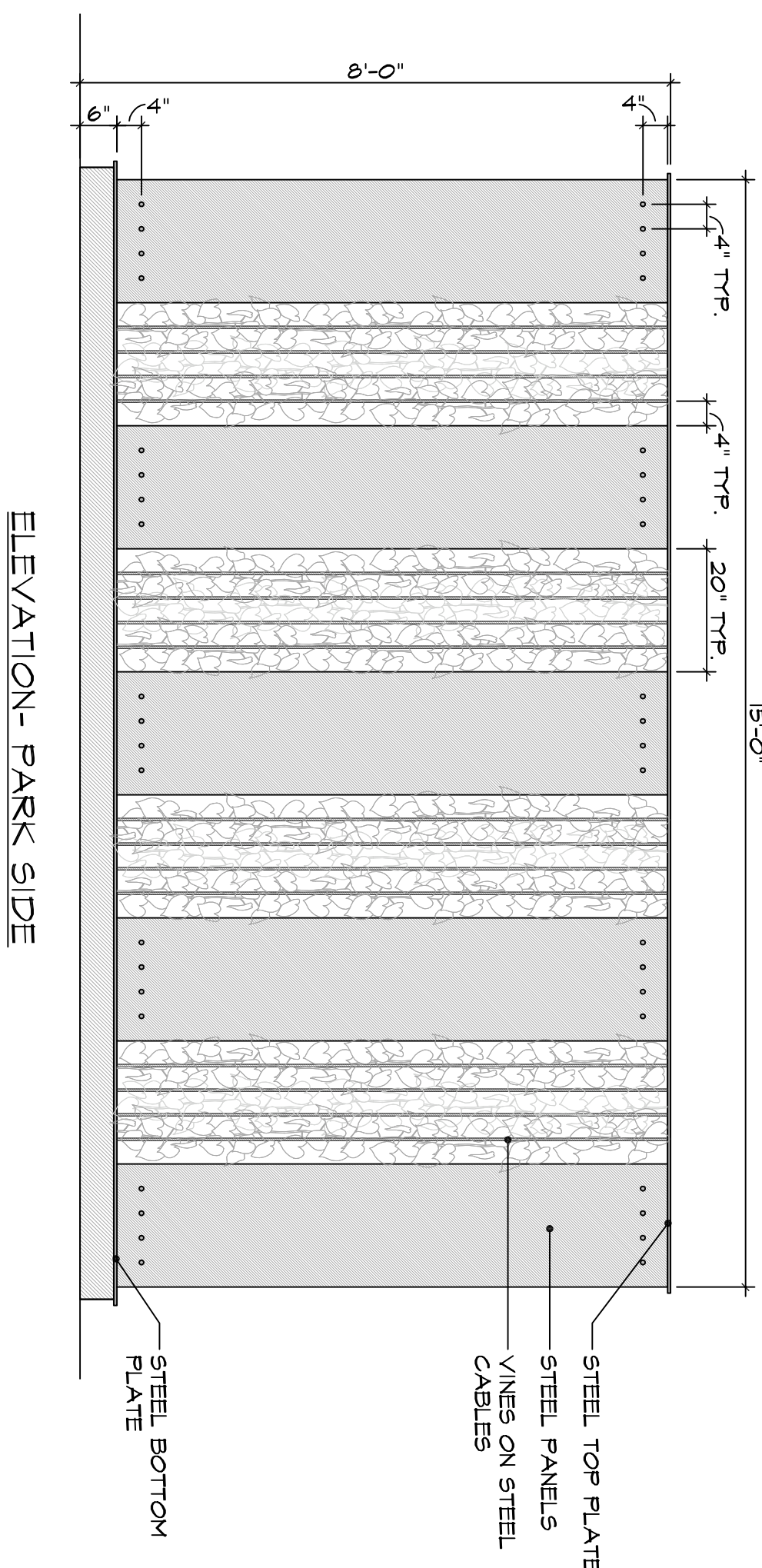
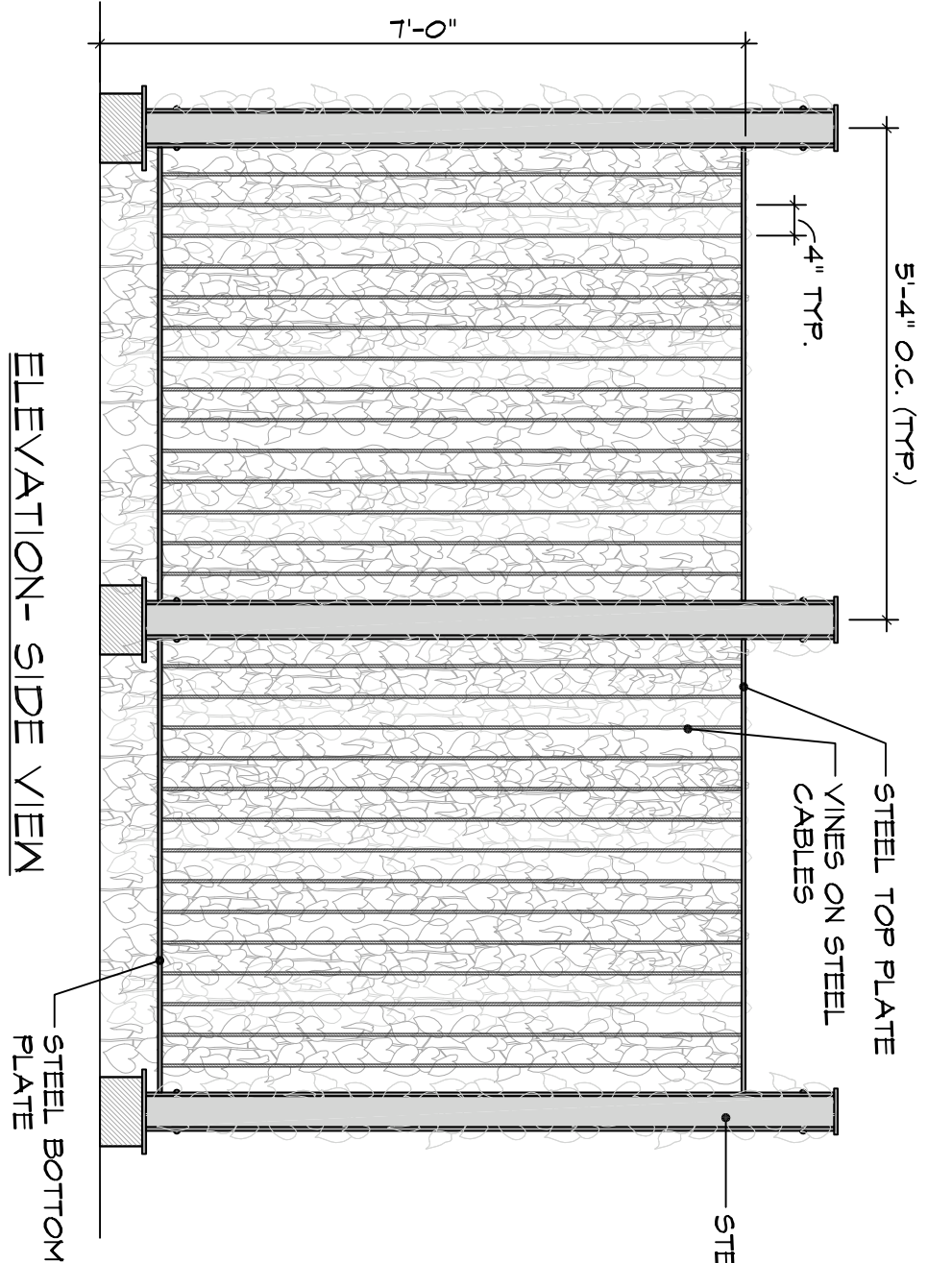
DRAWING TITLE  
**SITE LIGHTING & AMENITIES PLAN**

SHEET NO.  
**DPF4.3**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	5	PICEA PUNGENS	COLORADO SPRUCE	6' HT.
	4	PICEA PUNGENS	COLORADO SPRUCE	8' HT.
	3	PICEA PUNGENS	COLORADO SPRUCE	10' HT.
	1	PINUS ARISTATA	BIRCHLEAF PINE	6' HT.
	30	POPULUS TREMULOIDES	ASPEN	2" Caliper
	25	POPULUS TREMULOIDES	ASPEN	3" Caliper
	2	PICEA MONTGOMERYI	CHICK-CHERRY	2" Caliper
	3	PICEA MONTGOMERYI	CHICK-CHERRY	Multi-stem
	16	PICEA MONTGOMERYI	MONTGOMERY SPRUCE	3" B&B
	12	CORNUS STOLONIFERA	REDFLOW DOGWOOD	5 gallon
	4	SORBARIA SORBIFOLIA	URAL FALSE SPIREA	5 gallon
	2	VIBURNUM PRUNIFOLIUM	BLACKHAM VIBURNUM	4" B&B
	3	RHUS X CISTENA	PURPLE LEAF PLUM	5 gallon
	8	JAPANESE AMERICAN	MAK-FLOWER	5 gallon
	12	MISCANTHUS SINENSIS	MAIDEN GRASS	5 gallon
	12	MISCANTHUS SINENSIS	MAIDEN GRASS	5 gallon
	22	SCHIZACHYRIUM	LITTLE BLUESTEM GRASS	5 gallon
	4	NOLINA MICROCARPA	BEAR GRASS	5 gallon
	54	FESTUCA GLAUCA	BLUE FESCUE GRASS	1 gallon
		BOLDER BLUE	REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASS AND WILD-FLLOWER SEED MIX	
	300	ASSORTED	ASSORTED GROUND COVERS AND PERENNIAL FLOWERS	1 gallon Fats
		LAWN	RIPARIAN PLANTINGS	
		EXISTING EVERGREEN TREES	EXISTING EVERGREEN TREES	
		EXISTING DECIDUOUS TREES	EXISTING DECIDUOUS TREES	

**PLANTING NOTES**

- THE PLANT LIST IS PROVIDED FOR THE CONVENIENCE OF THE GARDENERS. THE CONTRACTOR SHALL VERIFY THE PLANT LIST AND THE QUALITY OF THE PLANTS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR FIELD LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED TO +/-0.25 FOOT OF FINISH GRADE.
- FINAL LOCATION AND STAKING OF ALL PLANT MATERIALS SHALL BE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITH PLANTING OPERATIONS UNTIL STAKING IS FULLY APPROVED BY THE LANDSCAPE ARCHITECT. STAKING SHALL BE FULLY APPROVED BY THE LANDSCAPE ARCHITECT. FILL MIX IS TO CONSIST OF 80% NATIVE TOPSOIL AND 20% COMPOST.
- SHRUB BEDS AND TREE WELLS ARE TO BE MULCHED WITH 3" SHREDDED MULCH. MULCH BANDING TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ALL PLANTING BEDS SHALL BE SEPARATED FROM NATIVE GRASS AREAS BY 1/8" X 1/4" GALVANIZED STEEL EDGING. TACK EDGING IN PLACE WITH 12 EDGING NAILS PER LINE. EDGING SHALL BE STAKED WITH 5" STEEL "T" STAKES AND GATED WITH #12 GALVANIZED WIRE AND 1-1/2" WIDE GREEN NYLON TREE STRAPS. ALL EVERGREEN TREES ARE TO BE STAKED WITH THREE 5" STEEL "T" STAKES AND GATED WITH #12 GALVANIZED WIRE AND 1-1/2" WIDE GREEN NYLON TREE STRAPS.
- PERENNIAL FLOWER BEDS ARE TO BE AMENDED WITH 4" OF DEBRIS FREE TOPSOIL AND 2" ORGANIC COMPOST MIXTURE TO BE CULTIVATED TO A DEPTH OF 6" AND PLANTING BEDS TO BE REPAIRED TO ORIGINAL FINISH.
- IN DIAMETER AND STICKS, ROOTS, RUBBER, AND EXCESSIVE MATTER. LOOSEN SOIL TO A MINIMUM OF 3" DEPTH. REMOVE STONES OVER 2".
- GRANDPARENTS TO A SPOON. TREE TRAINING FOR SERVICE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN WITH NATIVE GRASS SEED MIX 50% NATIVE TOPSOIL AND 50% COMPOST AT A RATE OF 42 lbs. PER ACRE. 15% CREEPING RED FESCUE 35% SHEEP FESCUE 50% CANADA BLUEGRASS
- 10% IDAHO FESCUE 15% SENDER REGENT GRASS 15% PERENNIAL PHOSPHATE FERTILIZER, 18-46-0 AT THE RATE OF 8 lbs. PER 1000 sq. ft. SHALL BE BROADCAST PRIOR TO SEEDING.
12. ALL PLANTING MATERIALS SHALL BE PLANTED AT THE RATE OF 120 lbs. PER ACRE.
13. ALL PLANTING MATERIALS SHALL BE PLANTED AT THE RATE OF 120 lbs. PER ACRE.
14. ALL SEEDING AREAS WITH A SLOPE OF 2:1 OR GREATER SHALL BE REINFORCED WITH 12" X 12" OR 18" X 18" OF SOIL. LIGHTLY TO AFTER SEEDING RATE OR DRAG STRIPE OF SOIL. LIGHTLY TO REINFORCE WITH 12" X 12" OR 18" X 18" OF SOIL.
15. LANDSCAPE CONTRACTOR SHALL INSTALL AN 18" WIDE RIVER ROCK DRIP SYSTEM. PERENNIAL FLOWER BEDS SHALL BE IRRIGATED WITH 1/2" PERFORATED DRIP SYSTEM. PERENNIAL FLOWER BEDS SHALL BE IRRIGATED WITH 1/2" PERFORATED DRIP SYSTEM. PERENNIAL FLOWER BEDS SHALL BE IRRIGATED WITH 1/2" PERFORATED DRIP SYSTEM. PERENNIAL FLOWER BEDS SHALL BE IRRIGATED WITH 1/2" PERFORATED DRIP SYSTEM.
16. LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT REGARDING THE PLANTING MATERIALS AND THE PLANTING MATERIALS TO THE OWNER. EACH PLANTING MATERIAL SHALL BE PLANTED AT THE RATE OF 120 lbs. PER ACRE FOR A PERIOD OF ONE YEAR FOLLOWING THE PLANT'S INSTALLATION.



**A**  
VERTICAL PANEL WALL POOL ENCLOSURE DETAIL  
SCALE: 1/2"=1'

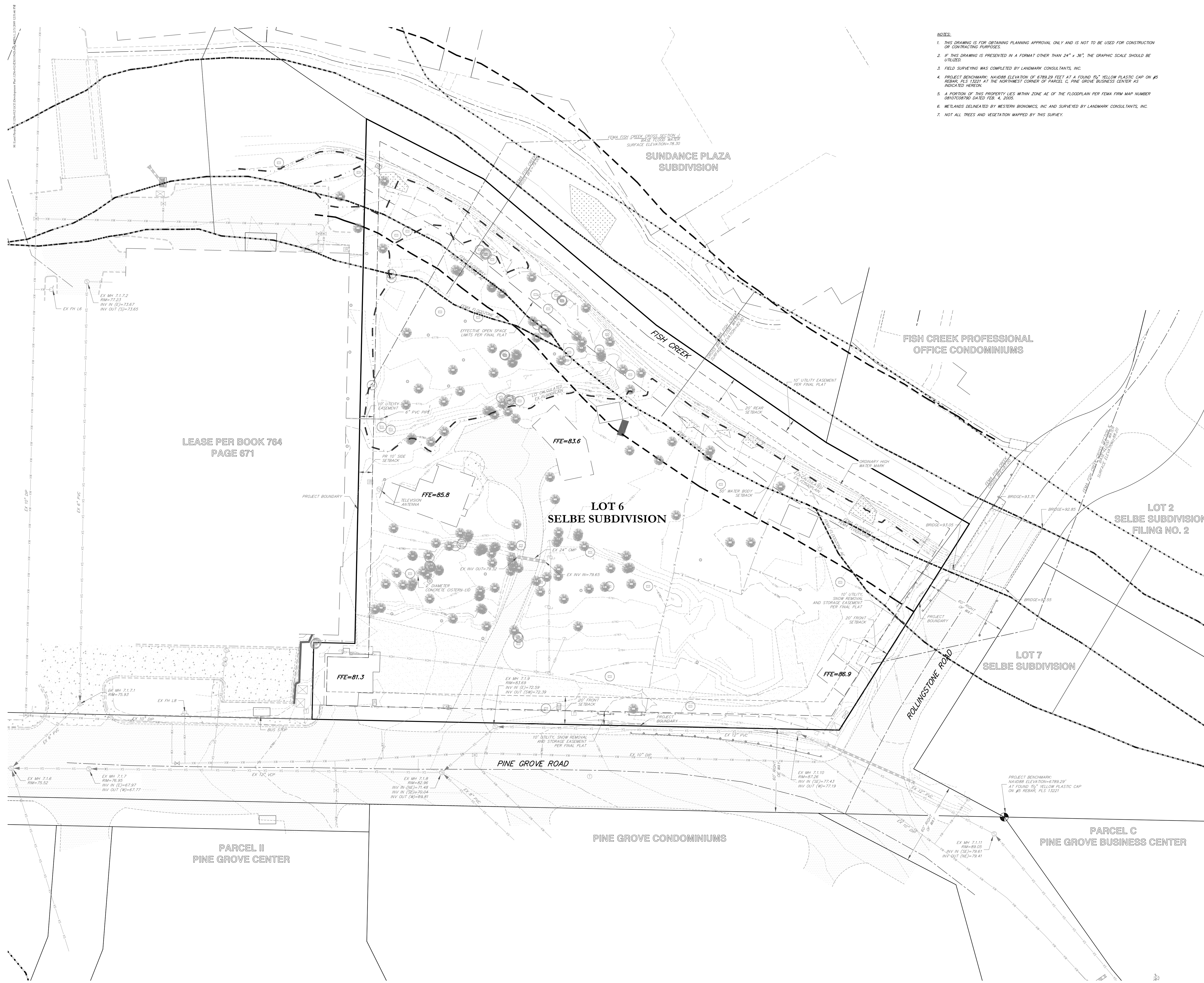
**LANDSCAPE REQUIREMENTS FOR COMMUNITY COMMERCIAL ZONE DISTRICT**

15' DENSE PLANTING BUFFER = 1 TREE / 200 SQUARE FEET  
TOTAL AREA = 5,481 SQUARE FEET  
TOTAL NUMBER OF TREES REQUIRED = 27

% REQUIRED	TREE CATEGORY	NUMBER OF TREES
10 %	6 - 7 FT. EVERGREENS	3
10 %	8 - 9 FT. EVERGREENS	3
15 %	10+ FT. EVERGREENS	4
15 %	2 1/2 CAL. LARGE DECIDUOUS	4
20 %	2" CAL. ORNAMENTAL	5
10 %	5 GAL. SHRUBS	3

**Rollingstone Village Trees Count**

Evergreen Trees	Deciduous Trees	
	Save	Remove
2" Caliber	3	4
3" Caliber	2	10
4" Caliber	4	9
5" Caliber	2	2
6" Caliber	2	14
8" Caliber	3	11
9" Caliber	3	5
10" Caliber	1	2
Total	17	53
Total	17	53
12" Caliber	2	7
13" Caliber	3	4
14" Caliber	6	4
15" Caliber	1	1
16" Caliber	1	1
17" Caliber	1	1
18" Caliber	1	10
19" Caliber	1	2
20" Caliber	2	1
22" Caliber	1	1
24" Caliber	16	25
Total	16	25
26" Caliber	1	1
30" Caliber	1	1
32" Caliber	2	1
Total	2	1
Total	2	1



- NOTES:**
- THIS DRAWING IS FOR OBTAINING PLANNING APPROVAL ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OR CONTRACTING PURPOSES.
  - IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" x 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.
  - FIELD SURVEYING WAS COMPLETED BY LANDMARK CONSULTANTS, INC.
  - PROJECT BENCHMARK: NAVD83 ELEVATION OF 6789.29 FEET AT A FOUND 1/2" YELLOW PLASTIC CAP ON #5 REBAR, PLS 13291 AT THE NORTHWEST CORNER OF PARCEL C, PINE GROVE BUSINESS CENTER AS INDICATED HEREON.
  - A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE OF THE FLOODPLAIN PER FEMA FIRM MAP NUMBER 08107C0879D DATED FEB. 4, 2005.
  - WETLANDS DELINEATED BY WESTERN BIOMONICS, INC AND SURVEYED BY LANDMARK CONSULTANTS, INC.
  - NOT ALL TREES AND VEGETATION MAPPED BY THIS SURVEY.

- EXISTING LEGEND**
- EXISTING LOT LINE
  - EXISTING EASEMENT
  - EXISTING BUILDING
  - EXISTING ROOF / BUILDING OVERHANG
  - EXISTING WALL
  - EXISTING FENCE
  - EXISTING BACK OF CURB AND FLOWLINE
  - EXISTING GUARDRAIL
  - EXISTING EDGE OF GRAVEL
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING UNDERGROUND SANITARY SEWER LINE
  - EXISTING SANITARY SEWER MANHOLE AND CLEANOUT
  - EXISTING UNDERGROUND WATER LINE
  - EXISTING WATER MANHOLE AND CURB STOP
  - EXISTING GATE VALVE AND FIRE HYDRANT
  - EXISTING OVERHEAD UTILITY LINES
  - EXISTING UTILITY POLE WITH GUY WIRE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING ELECTRIC TRANSFORMER AND SECONDARY PEDESTAL
  - EXISTING LIGHT POLE
  - EXISTING CABLE TELEVISION PEDESTAL
  - EXISTING FLOODPLAIN
  - EXISTING FEMA FLOODWAY
  - LOI CALCULATED EXISTING FLOODPLAIN
  - EXISTING ORDINARY HIGH WATER MARK
  - EXISTING CULVERT W/ END SECTIONS AND RIPRAP
  - EXISTING STORM DRAINS
  - EXISTING ASPHALT
  - EXISTING CONCRETE
  - EXISTING GRAVEL DRIVE
  - EXISTING WETLANDS
  - EXISTING DECIDUOUS TREE
  - EXISTING CONIFEROUS TREE

- NOMENCLATURE:**
- BFE - BASE FLOOD ELEVATION
  - CMP - CORRUGATED METAL PIPE
  - DIP - DUCTILE IRON PIPE
  - EX - EXISTING
  - FFE - FINISHED FLOOR ELEVATION
  - FH - FIRE HYDRANT
  - IWV - INVERT
  - MH - MANHOLE
  - PVC - POLYVINYL CHLORIDE
  - TRM - TO BE REMOVED
  - VCP - VITRIFIED CLAY PIPE

**VERTICAL ARTS**  
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**Rollingstone Village**  
 1480 Pine Grove Road  
 Steamboat Springs, Colorado  
 #0718

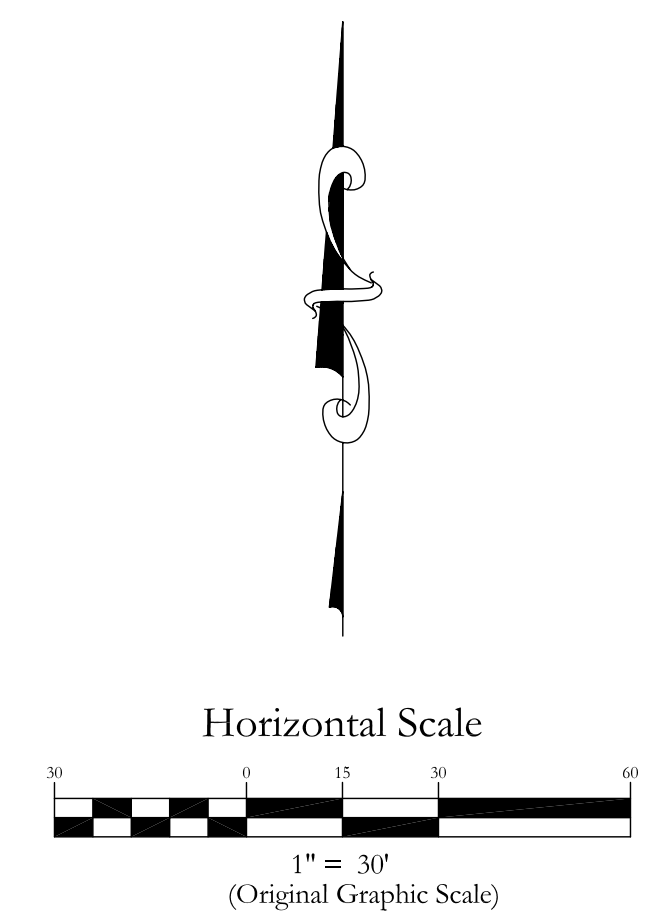
ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	2.06.09

DRAWING TITLE  
 EXISTING CONDITIONS PLAN

SHEET NO.

**DPF6.1**

10/17/2008 11:26:38 AM



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**PROPOSED UTILITY LEGEND**

	PROPOSED UNDERGROUND SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE AND CLEANOUT
	PROPOSED UNDERGROUND WATER LINE
	PROPOSED WATER MANHOLE AND CURB STOP
	PROPOSED GATE VALVE AND FIRE HYDRANT
	PROPOSED UNDERGROUND GAS LINE
	PROPOSED OVERHEAD UTILITY LINES
	PROPOSED UTILITY POLE WITH GUY WIRE
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED ELECTRIC TRANSFORMER, SECONDARY PEDESTAL AND SWITCH GEAR
	PROPOSED LIGHT POLE AND LIGHT POLE WITH MAST
	PROPOSED UNDERGROUND CABLE TELEVISION LINE
	PROPOSED CABLE TELEVISION PEDESTAL
	PROPOSED UNDERGROUND TELEPHONE LINE
	PROPOSED TELEPHONE PEDESTAL AND TELEPHONE MANHOLE
	PROPOSED UNDERGROUND TELEVISION AND TELEPHONE DUCT LINE
	PROPOSED FIBER OPTIC CABLE

**EXISTING UTILITY LEGEND**

	EXISTING UNDERGROUND SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE AND CLEANOUT
	EXISTING UNDERGROUND WATER LINE
	EXISTING WATER MANHOLE AND CURB STOP
	EXISTING GATE VALVE AND FIRE HYDRANT
	EXISTING UNDERGROUND GAS LINE
	EXISTING OVERHEAD UTILITY LINES
	EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING ELECTRIC TRANSFORMER AND SECONDARY PEDESTAL
	EXISTING LIGHT POLE AND LIGHT POLE WITH MAST
	EXISTING UNDERGROUND CABLE TELEVISION LINE
	EXISTING CABLE TELEVISION PEDESTAL
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING TELEPHONE PEDESTAL AND TELEPHONE MANHOLE
	EXISTING DUCT LINE
	EXISTING FIBER OPTIC CABLE

**NOMENCLATURE:**

CMP - CORRUGATED METAL PIPE  
 CU - COPPER  
 DIP - DUCTILE IRON PIPE  
 EX - EXISTING  
 FFE - FINISHED FLOOR ELEVATION  
 FH - FIRE HYDRANT  
 INV - INVERT  
 MH - MANHOLE  
 PR - PROPOSED  
 PVC - POLYVINYL CHLORIDE  
 TB - THROUGH BLOCK  
 TBR - TO BE REMOVED  
 VCP - VITRIFIED CLAY PIPE  
 (71.XX) - EXISTING ELEVATION

- NOTES:**
- THIS DRAWING IS FOR OBTAINING PLANNING APPROVAL ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OR CONTRACTING PURPOSES.
  - IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" x 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.
  - FIELD SURVEYING WAS COMPLETED BY LANDMARK CONSULTANTS, INC.
  - PROJECT BENCHMARK: NAVD88 ELEVATION OF 6789.29 FEET AT A FOUND 1/2" YELLOW PLASTIC CAP ON #5 REBAR, PLS. 13221 AT THE NORTHWEST CORNER OF PARCEL C, PINE GROVE BUSINESS CENTER AS INDICATED HEREON.
  - A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE OF THE FLOODPLAIN PER FEMA FIRM MAP NUMBER 08107C0879D DATED FEB. 4, 2005.
  - WETLANDS DELINEATED BY WESTERN BIONOMICS, INC AND SURVEYED BY LANDMARK CONSULTANTS, INC.
  - SAND/OIL INTERCEPTORS REQUIRED FOR PARKING GARAGE. SAND/OIL INTERCEPTORS SHALL BE TIED INTO SANITARY SEWER SYSTEM.
  - FINAL UTILITY LOCATIONS AND INVERTS SUBJECT TO CHANGE DURING CONSTRUCTION DRAWING PROCESS.
  - PARKING GARAGE DRAINS REQUIRE MECHANICAL SEWER SERVICES.
  - PORTIONS OF BUILDING D REQUIRE MECHANICAL SEWER SERVICE.
  - PRIVATE FIRE HYDRANTS SHALL BE SERVED BY AN INTERNAL LOOPED SYSTEM.
  - WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MOUNT WERNER WATER CRITERIA.

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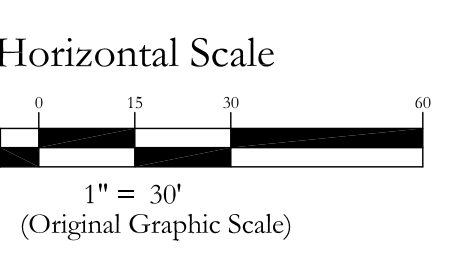
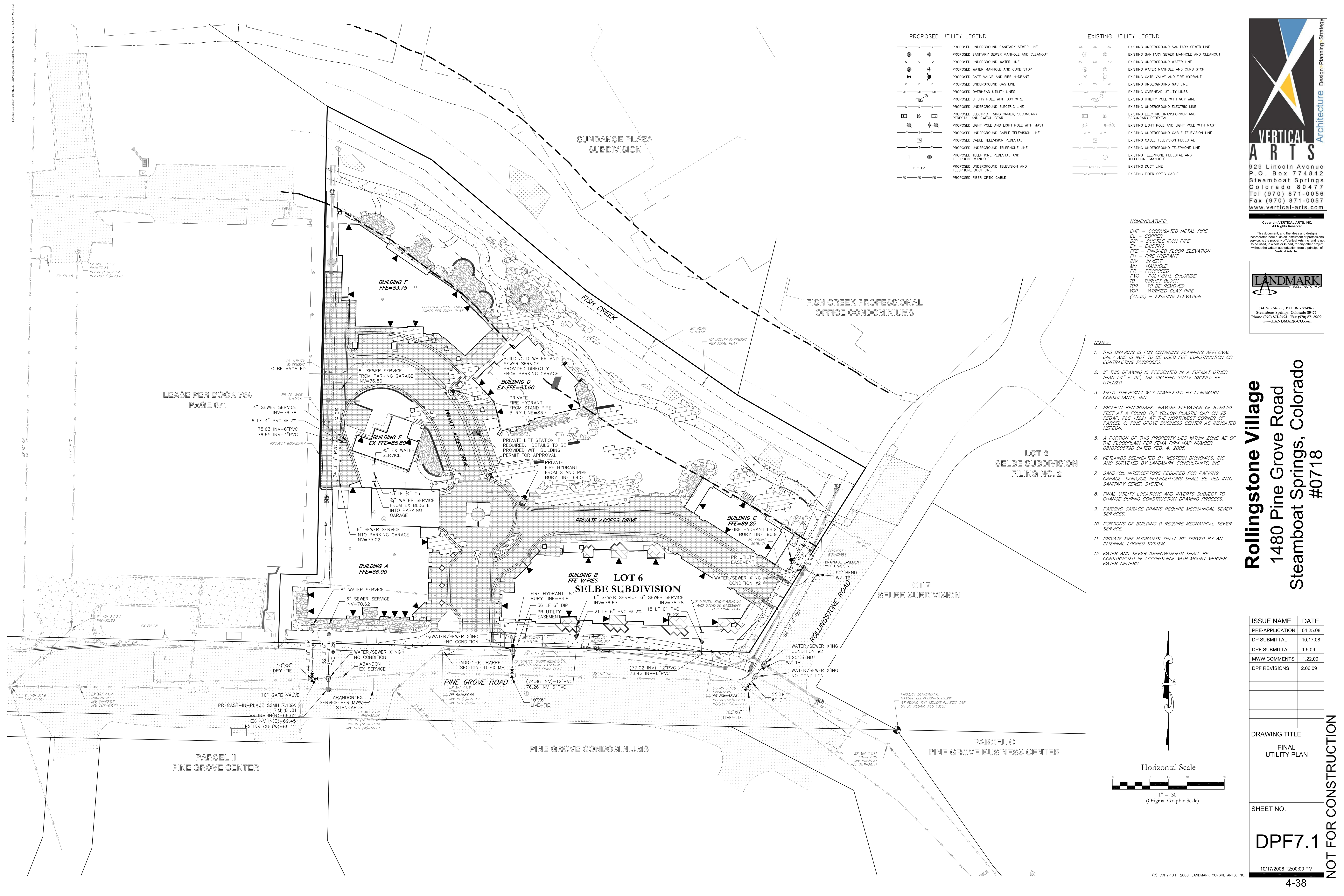
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DPF SUBMITTAL	1.5.09
MWW COMMENTS	1.22.09
DPF REVISIONS	2.06.09

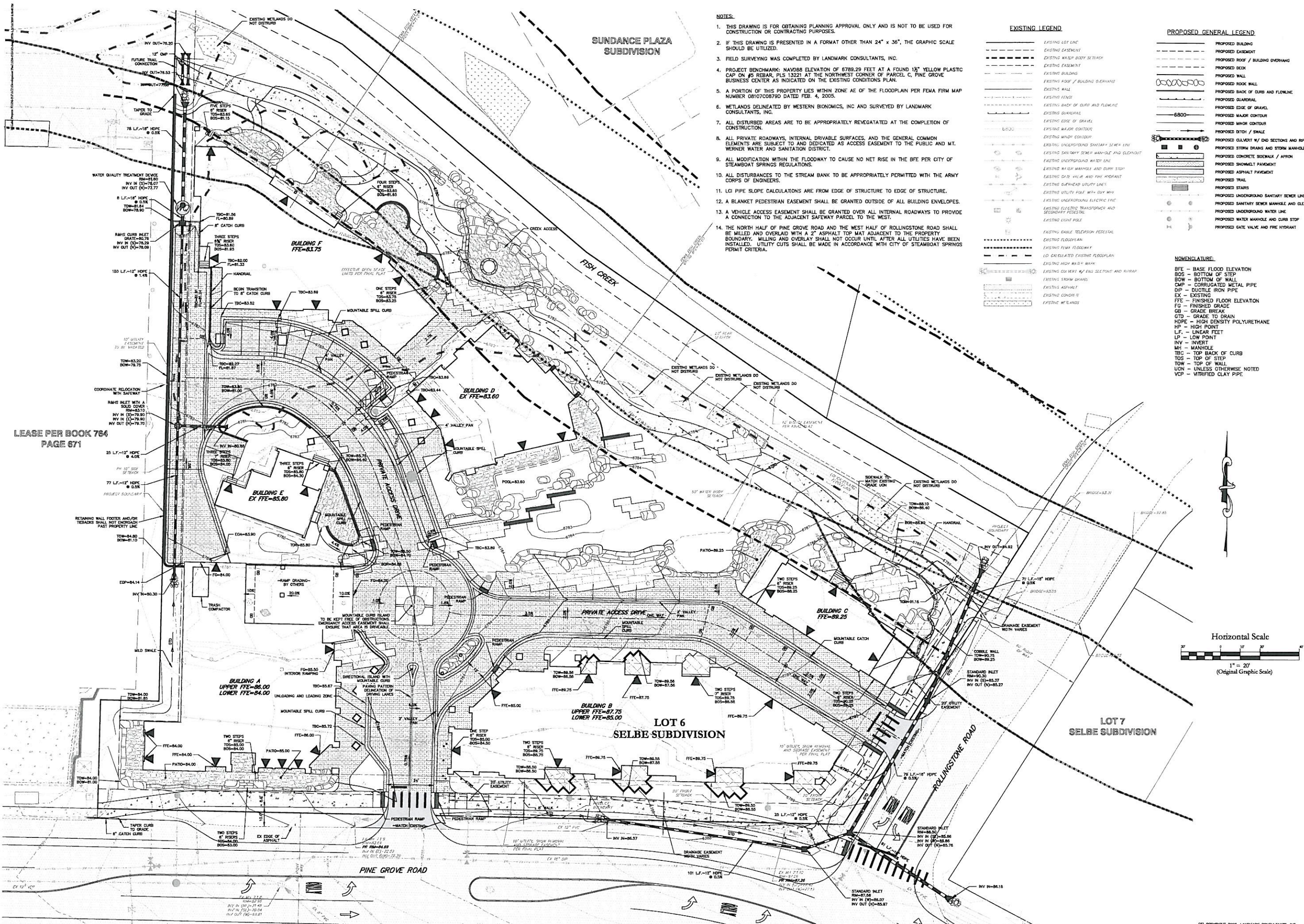
DRAWING TITLE  
 FINAL UTILITY PLAN

SHEET NO.  
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  - A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE OF THE FLOODPLAIN PER FEMA FIRM MAP NUMBER 08107C08790 DATED FEB. 4, 2005.
  - WETLANDS DELINEATED BY WESTERN BIOMIMICS, INC AND SURVEYED BY LANDMARK CONSULTANTS, INC.
  - ALL DISTURBED AREAS ARE TO BE APPROPRIATELY REVEGETATED AT THE COMPLETION OF CONSTRUCTION.
  - ALL PRIVATE ROADWAYS, INTERNAL DRIVABLE SURFACES, AND THE GENERAL COMMON ELEMENTS ARE SUBJECT TO AND DEDICATED AS ACCESS EASEMENT TO THE PUBLIC AND MT. WERNER WATER AND SANITATION DISTRICT.
  - ALL MODIFICATION WITHIN THE FLOODWAY TO CAUSE NO NET RISE IN THE BFE PER CITY OF STEAMBOAT SPRINGS REGULATIONS.
  - ALL DISTURBANCES TO THE STREAM BANK TO BE APPROPRIATELY PERMITTED WITH THE ARMY CORPS OF ENGINEERS.
  - LOI PIPE SLOPE CALCULATIONS ARE FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE.
  - A BLANKET PEDESTRIAN EASEMENT SHALL BE GRANTED OUTSIDE OF ALL BUILDING ENVELOPES.
  - A VEHICLE ACCESS EASEMENT SHALL BE GRANTED OVER ALL INTERNAL ROADWAYS TO PROVIDE A CONNECTION TO THE ADJACENT SAFEWAY PARCEL TO THE WEST.
  - THE NORTH HALF OF PINE GROVE ROAD AND THE WEST HALF OF ROLLINGSTONE ROAD SHALL BE MILLED AND OVERLAY WITH A 2" ASPHALT TOP MAT ADJACENT TO THE PROPERTY BOUNDARY. MILLING AND OVERLAY SHALL NOT OCCUR UNTIL AFTER ALL UTILITIES HAVE BEEN INSTALLED. UTILITY CUTS SHALL BE MADE IN ACCORDANCE WITH CITY OF STEAMBOAT SPRINGS PERMIT CRITERIA.

**EXISTING LEGEND**

- EXISTING LOT LINE
- EXISTING EASEMENT
- EXISTING WATER BODY SETBACK
- EXISTING EASEMENT
- EXISTING BUILDING
- EXISTING ROOF / BUILDING OVERHANG
- EXISTING WALL
- EXISTING FENCE
- EXISTING BACK OF CURB AND FLOWLINE
- EXISTING DRIVEWAYS
- EXISTING EDGE OF GRAVEL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UNDERGROUND SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE AND CLEANOUT
- EXISTING UNDERGROUND WATER LINE
- EXISTING WATER MANHOLE AND CURB STOP
- EXISTING GAS VALVE AND FIRE HYDRANT
- EXISTING SURFACED UTILITY LINE
- EXISTING UTILITY HOLE WITH GUY WIRE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING ELECTRIC TRANSDUCER AND SECONDARY PEDESTAL
- EXISTING LIGHT POLE
- EXISTING CABLE TELEVISION PEDESTAL
- EXISTING FLOODPLAIN
- EXISTING FEMA FLOODWAY
- LOI CALCULATED EXISTING FLOODPLAIN
- EXISTING HIGH WALK MARK
- EXISTING CURB VERT W/ END SECTIONS AND RIRRAP
- EXISTING STORM DRAIN
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING WETLANDS

**PROPOSED GENERAL LEGEND**

- PROPOSED BUILDING
- PROPOSED EASEMENT
- PROPOSED ROOF / BUILDING OVERHANG
- PROPOSED DECK
- PROPOSED WALL
- PROPOSED ROCK WALL
- PROPOSED BACK OF CURB AND FLOWLINE
- PROPOSED QUADRANT
- PROPOSED EDGE OF GRAVEL
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DITCH / SWALE
- PROPOSED CULVERT W/ END SECTIONS AND RIRRAP
- PROPOSED STORM DRAIN AND STORM MANHOLE
- PROPOSED CONCRETE SIDEWALK / APRON
- PROPOSED SHOVELT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TRAIL
- PROPOSED STAIRS
- PROPOSED UNDERGROUND SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE AND CLEANOUT
- PROPOSED UNDERGROUND WATER LINE
- PROPOSED WATER MANHOLE AND CURB STOP
- PROPOSED GATE VALVE AND FIRE HYDRANT

**NOMENCLATURE:**

- BFE - BASE FLOOD ELEVATION
- BOW - BOTTOM OF WALL
- CAP - CORRUGATED METAL PIPE
- DIP - DUCTILE IRON PIPE
- EX - EXISTING
- FFE - FINISHED FLOOR ELEVATION
- FG - FINISHED GRADE
- GB - GRADE BREAK
- GTD - GRADE TO DRAIN
- HOPE - HIGH DENSITY POLYURETHANE
- HP - HIGH POINT
- LF - LINEAR FEET
- LP - LOW POINT
- INV - INVERT
- MH - MANHOLE
- TBC - TOP BACK OF CURB
- TOS - TOP OF STEP
- TOW - TOP OF WALL
- UNLESS OTHERWISE NOTED
- VCP - VITRIFIED CLAY PIPE

LEASE PER BOOK 784  
PAGE 671

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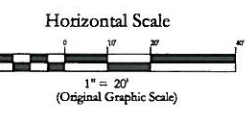
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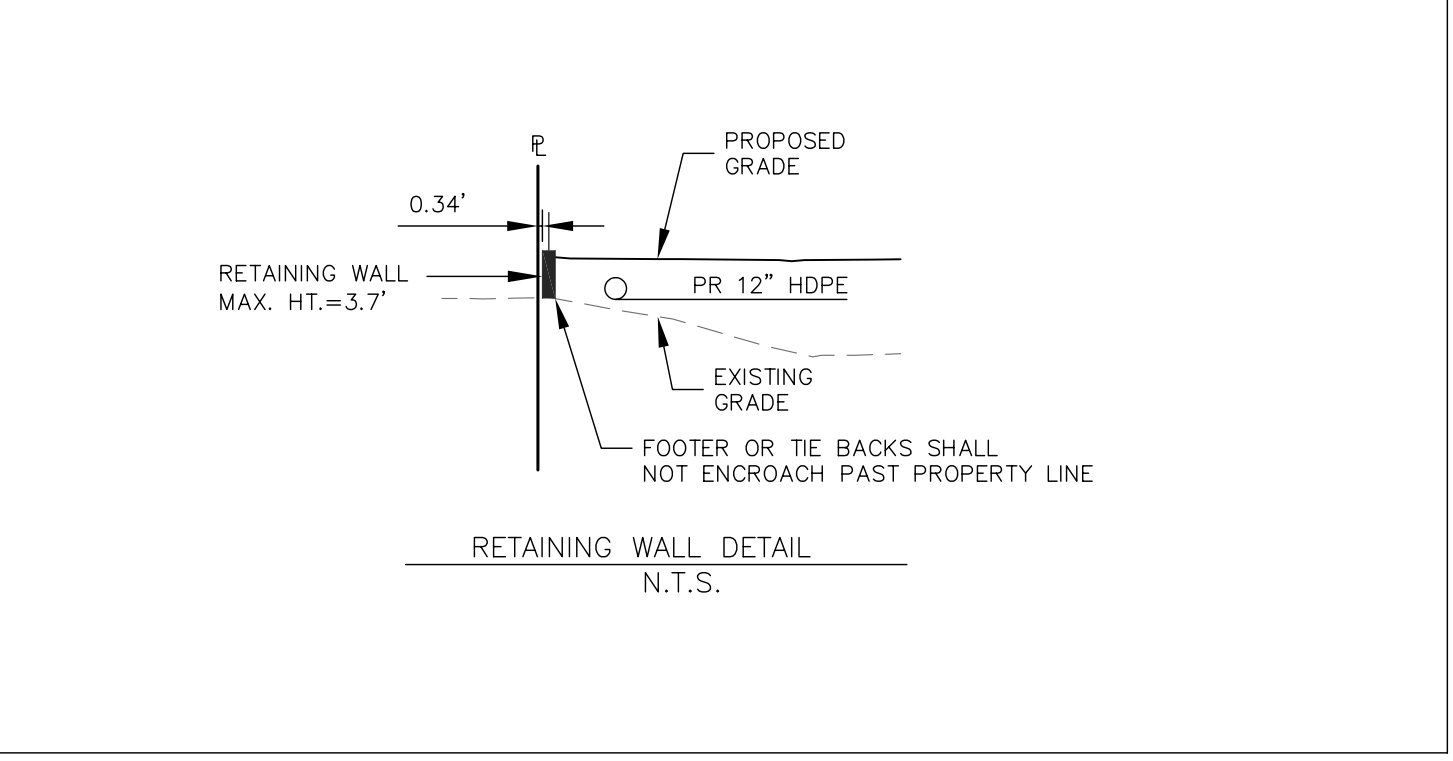
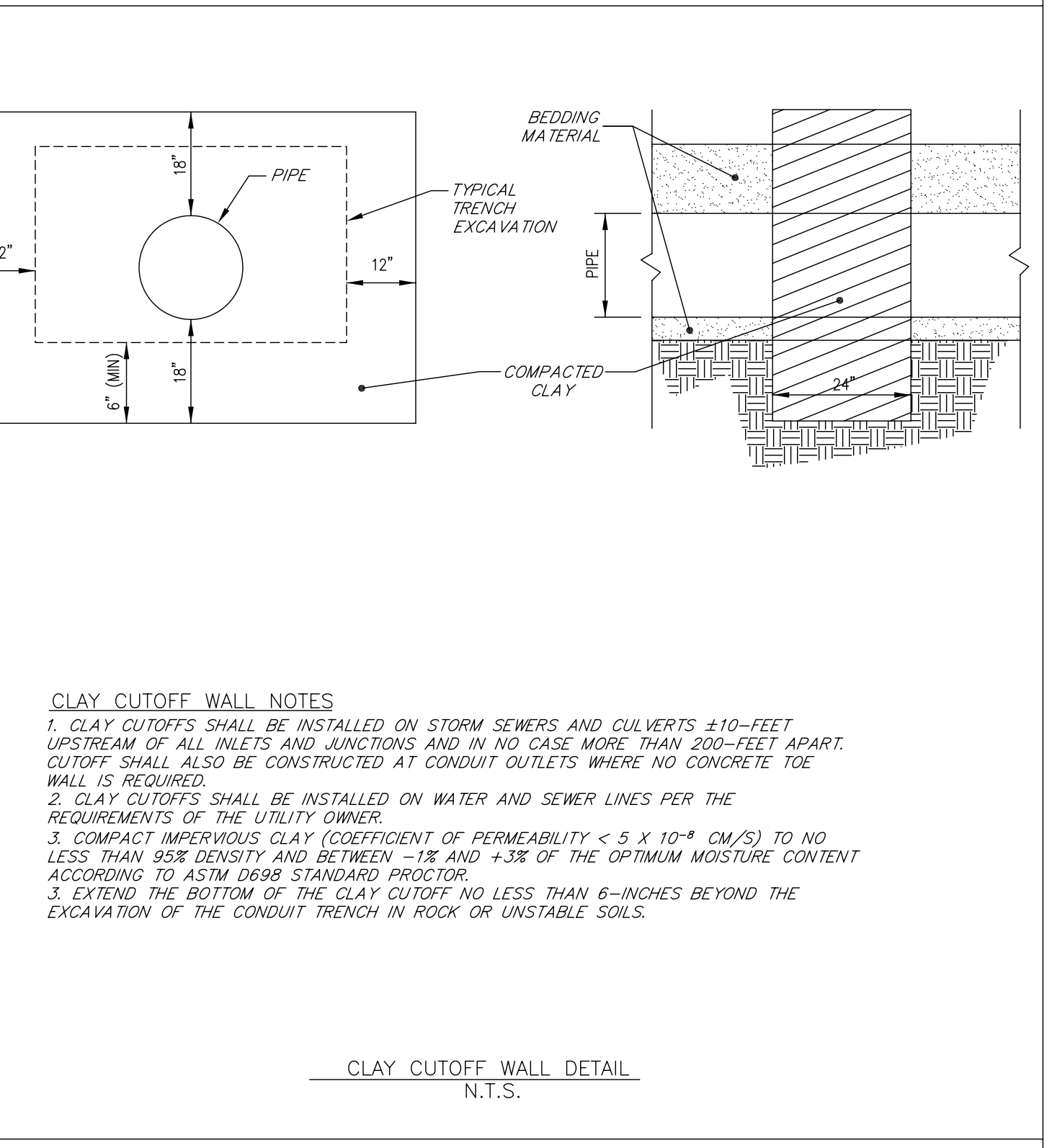
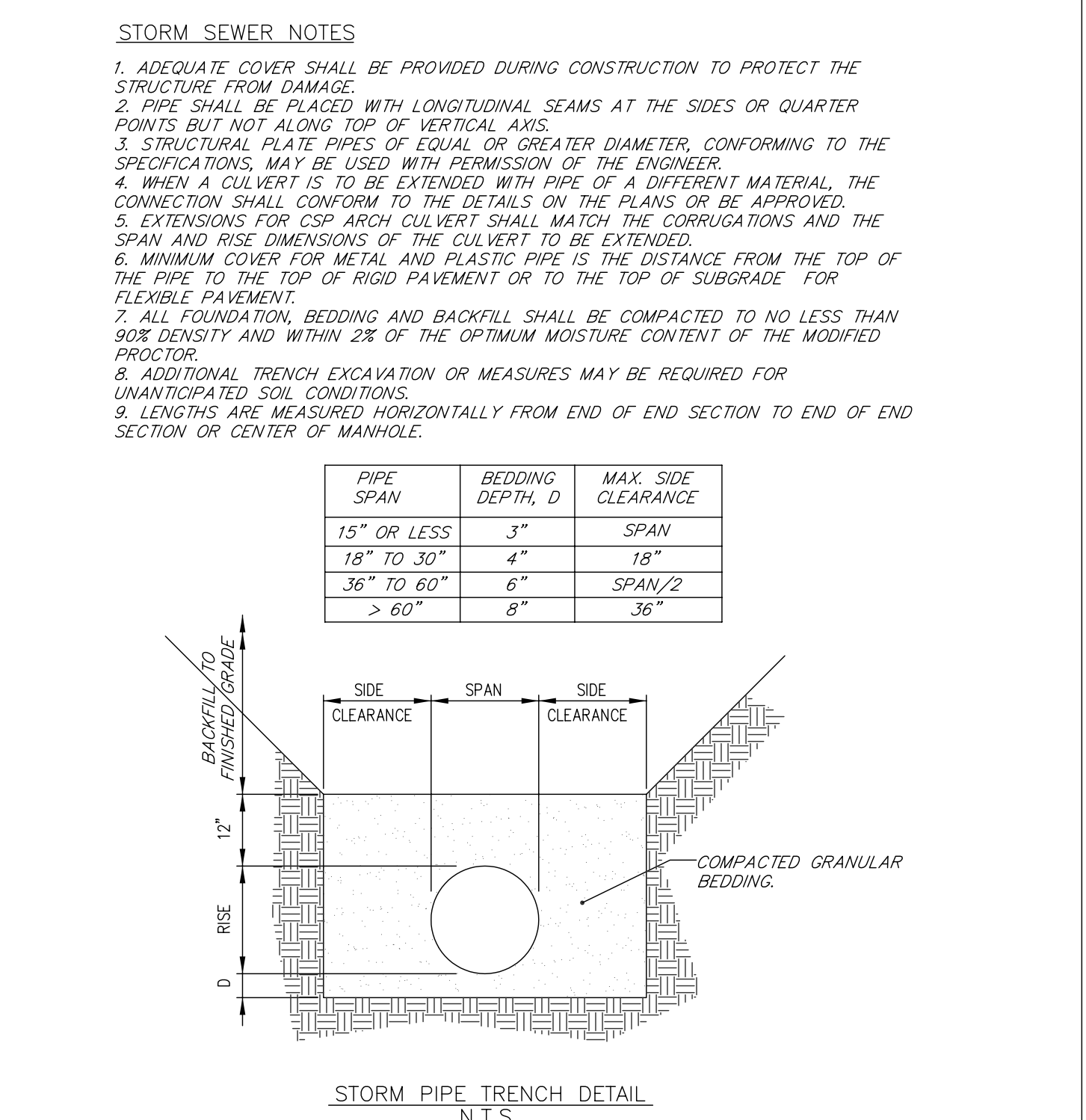
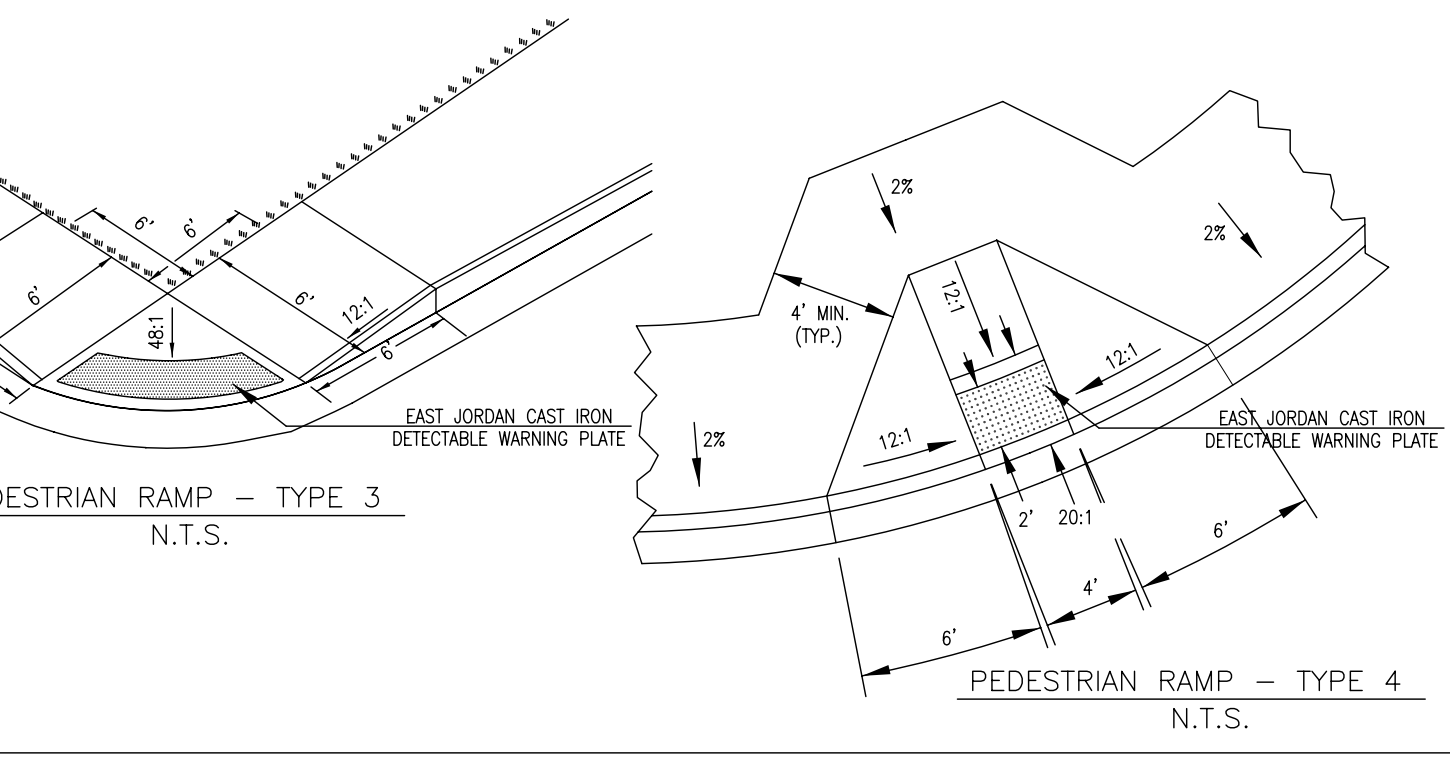
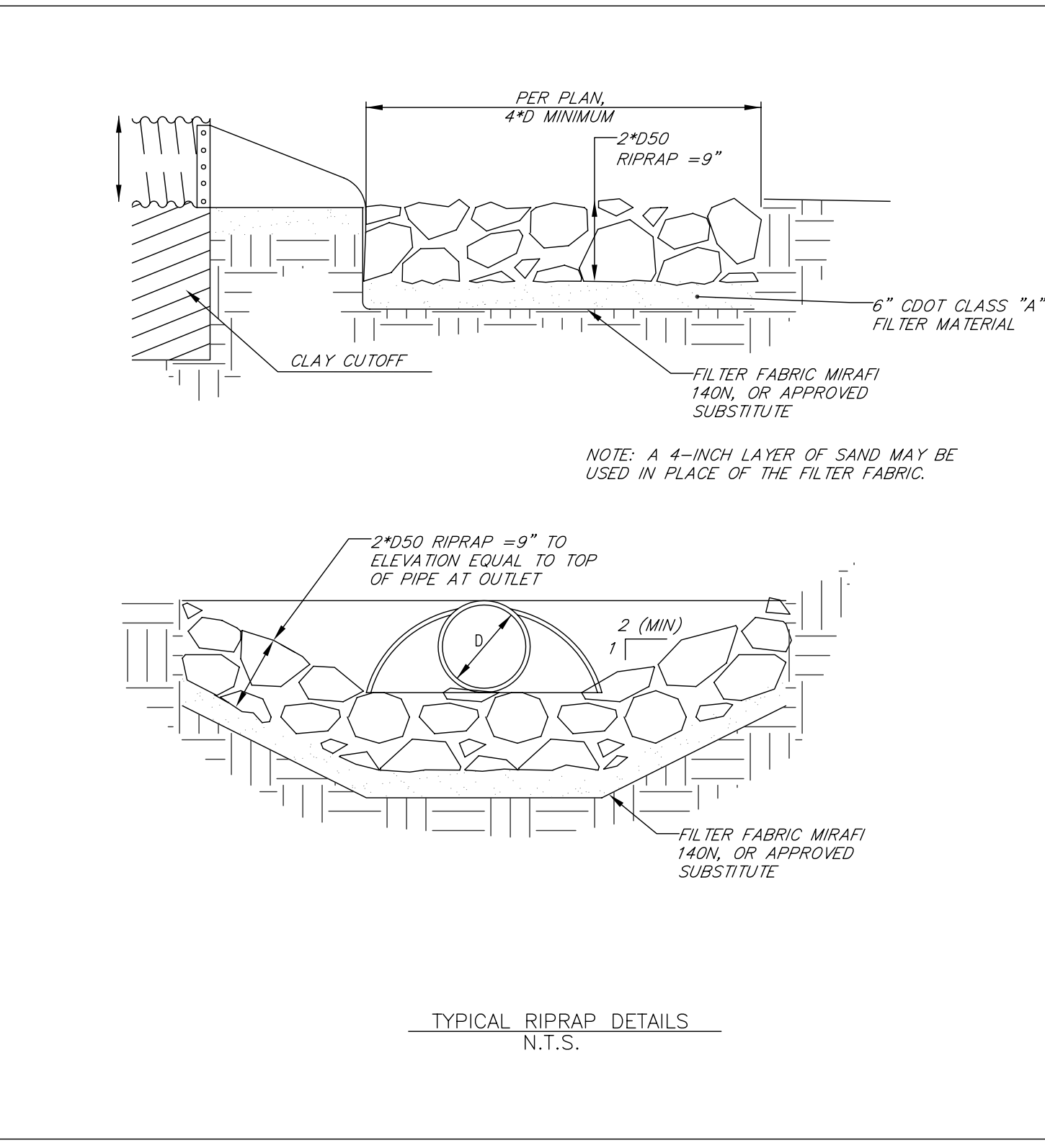
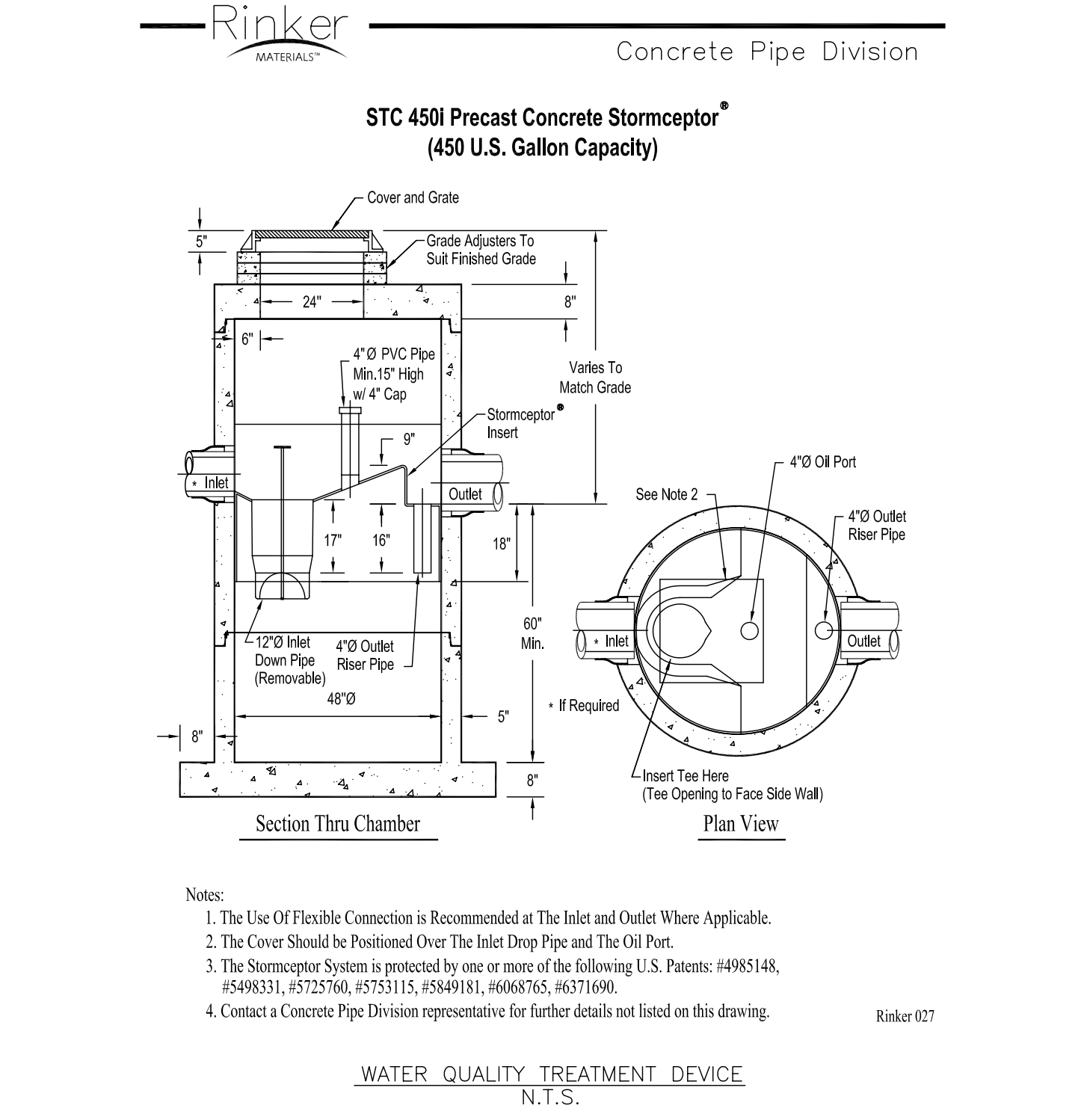
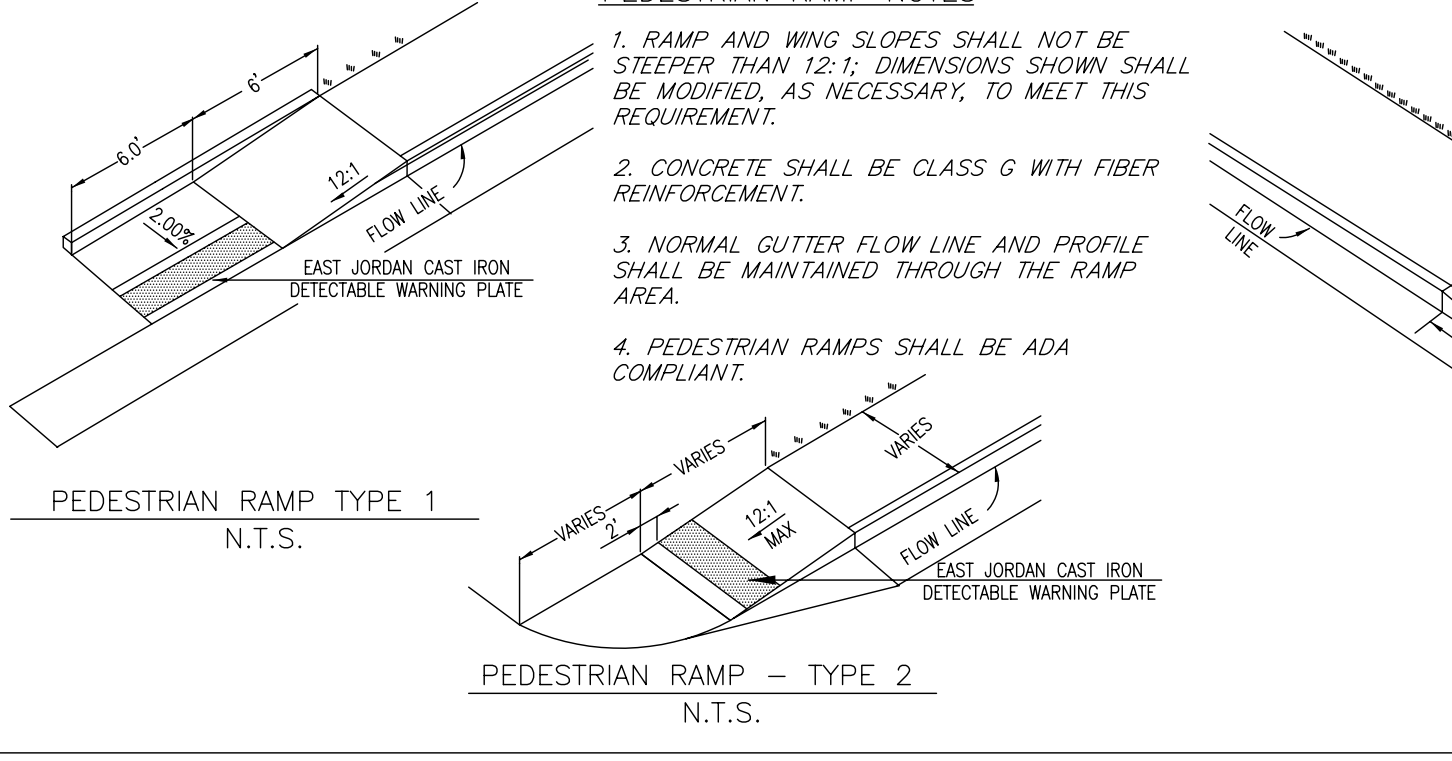
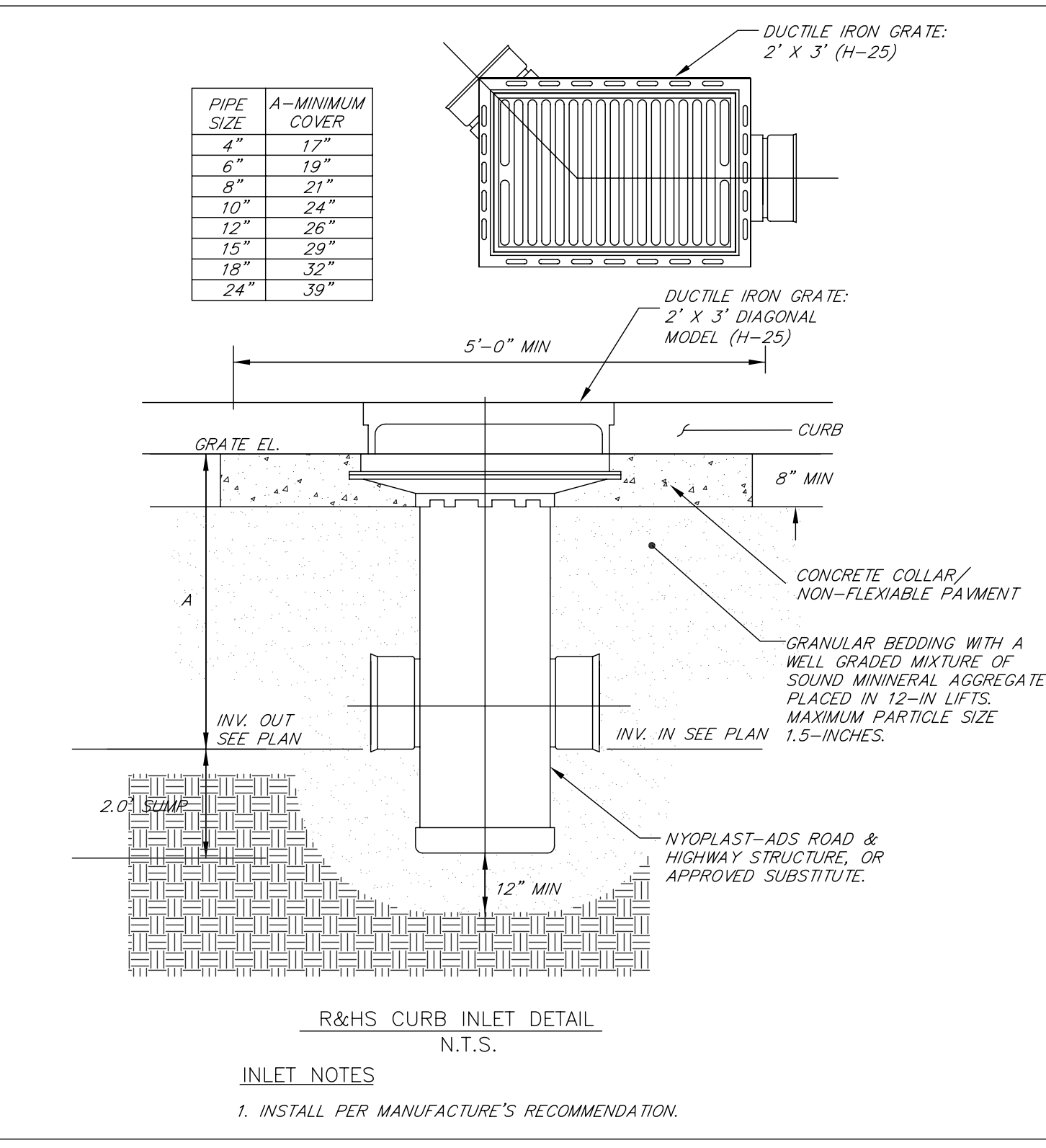
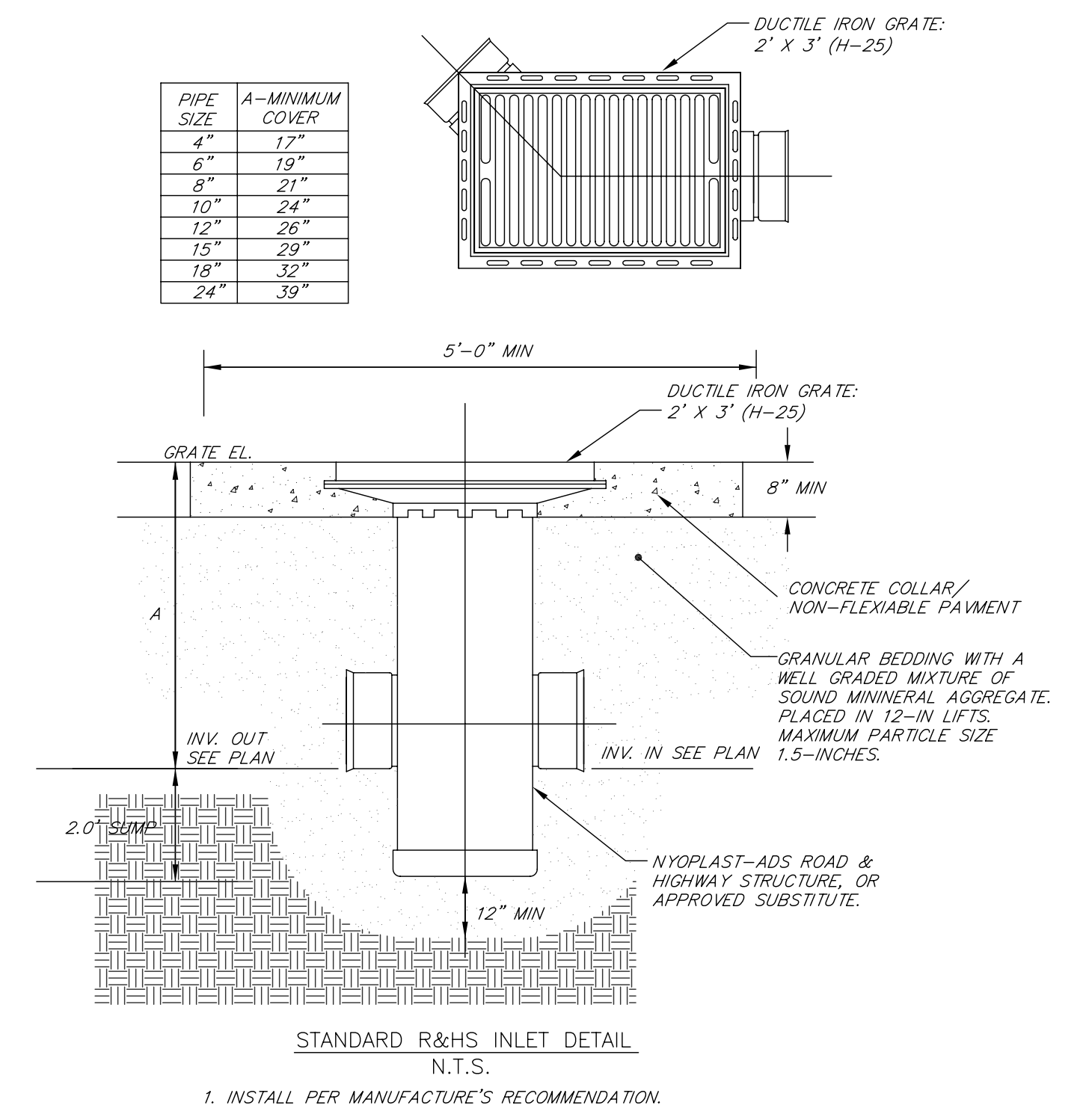
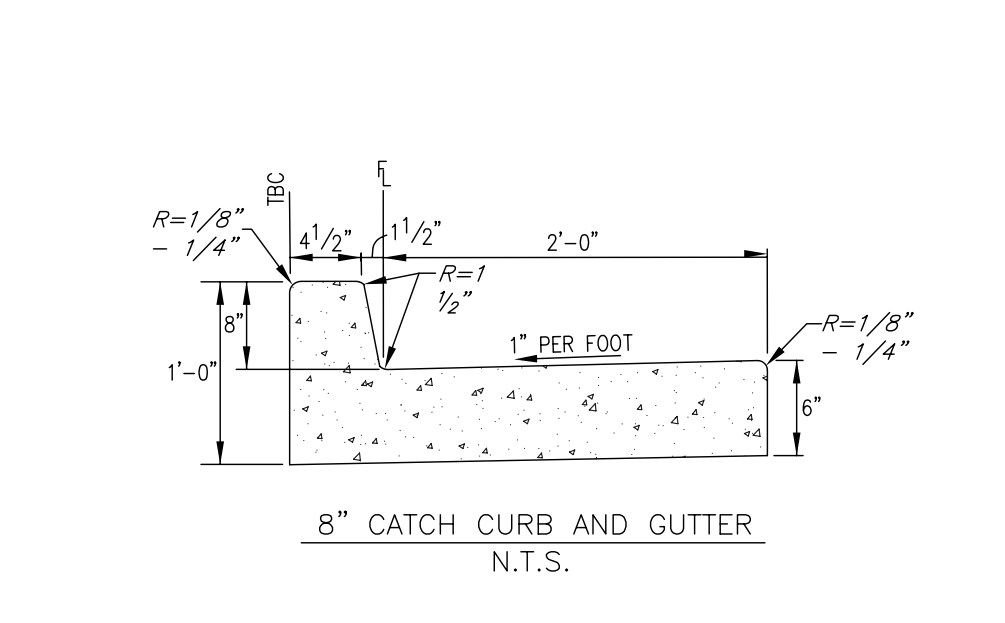
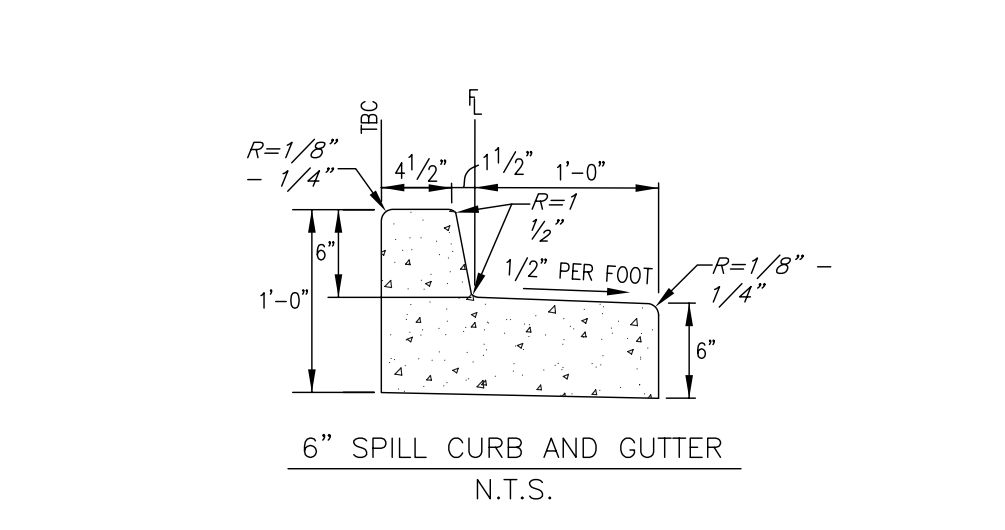
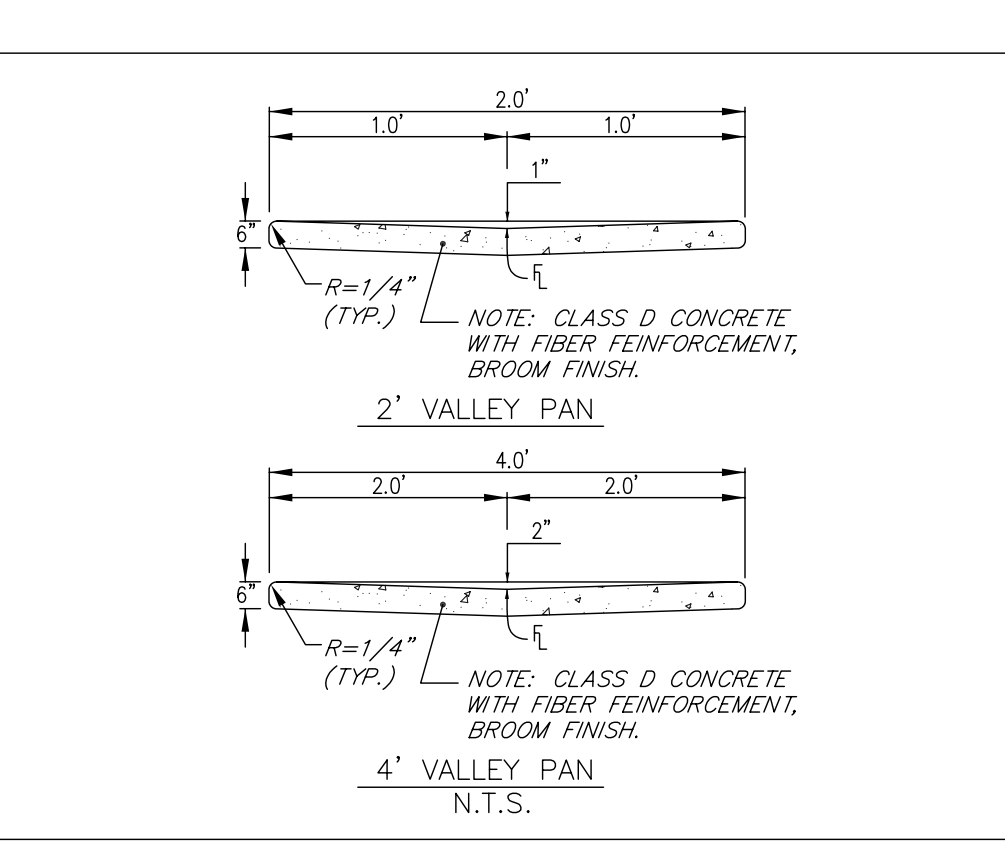
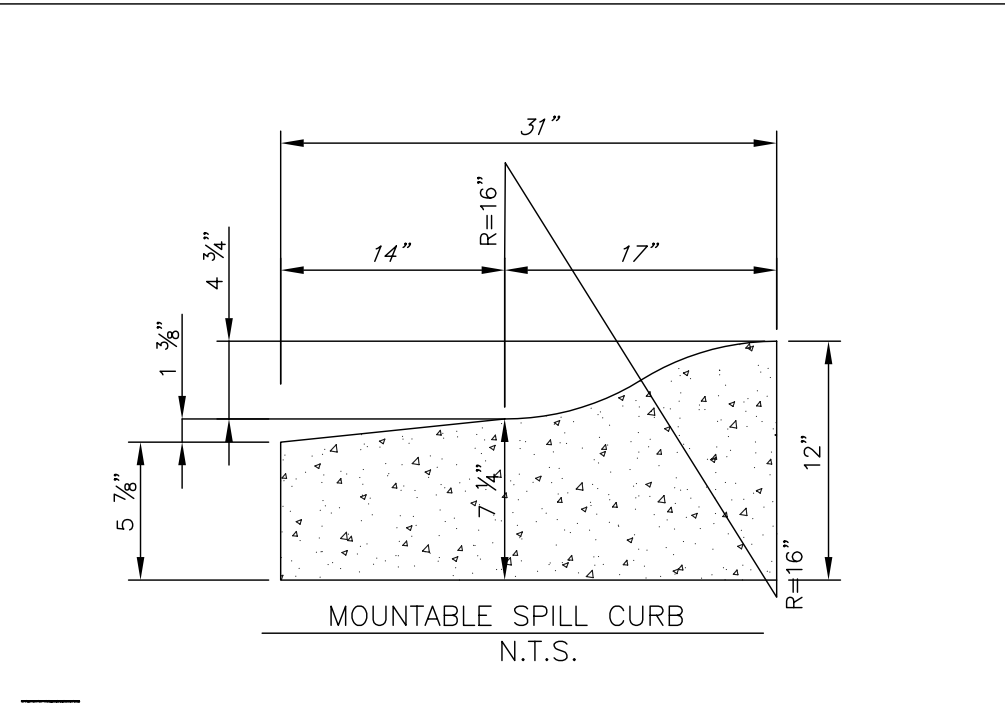
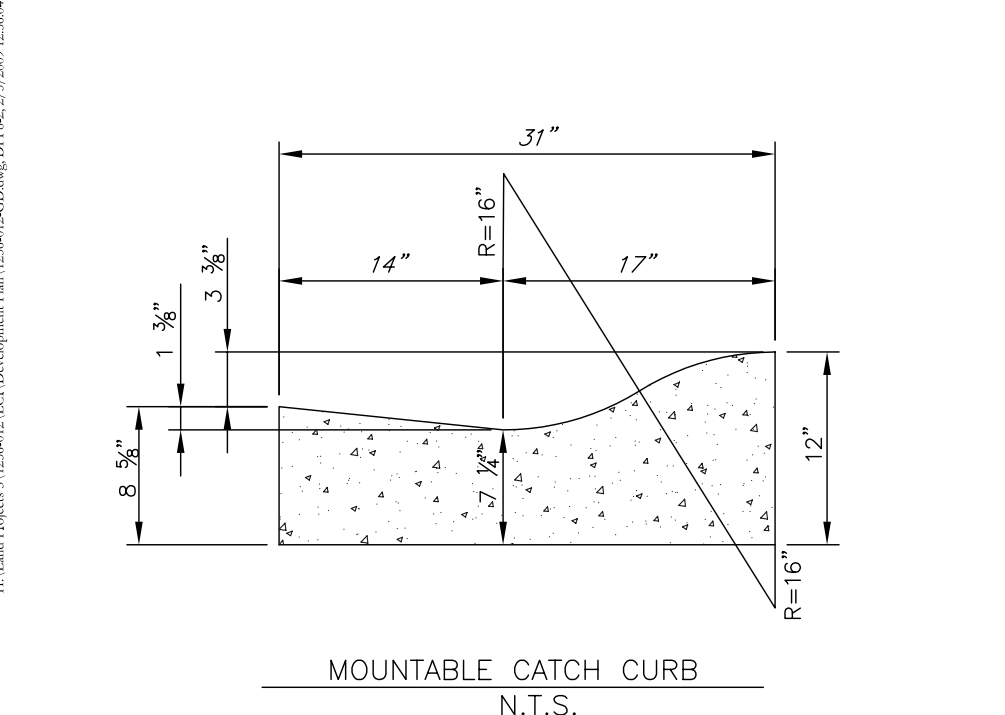
ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	2.06.09
DPF REVISIONS	2.10.09

DRAWING TITLE  
FINAL GRADING AND DRAINAGE PLAN

SHEET NO.  
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DPF SUBMITTAL	1.5.09
DPF REVISIONS	2.06.09

DRAWING TITLE  
 FINAL GRADING AND DRAINAGE DETAILS

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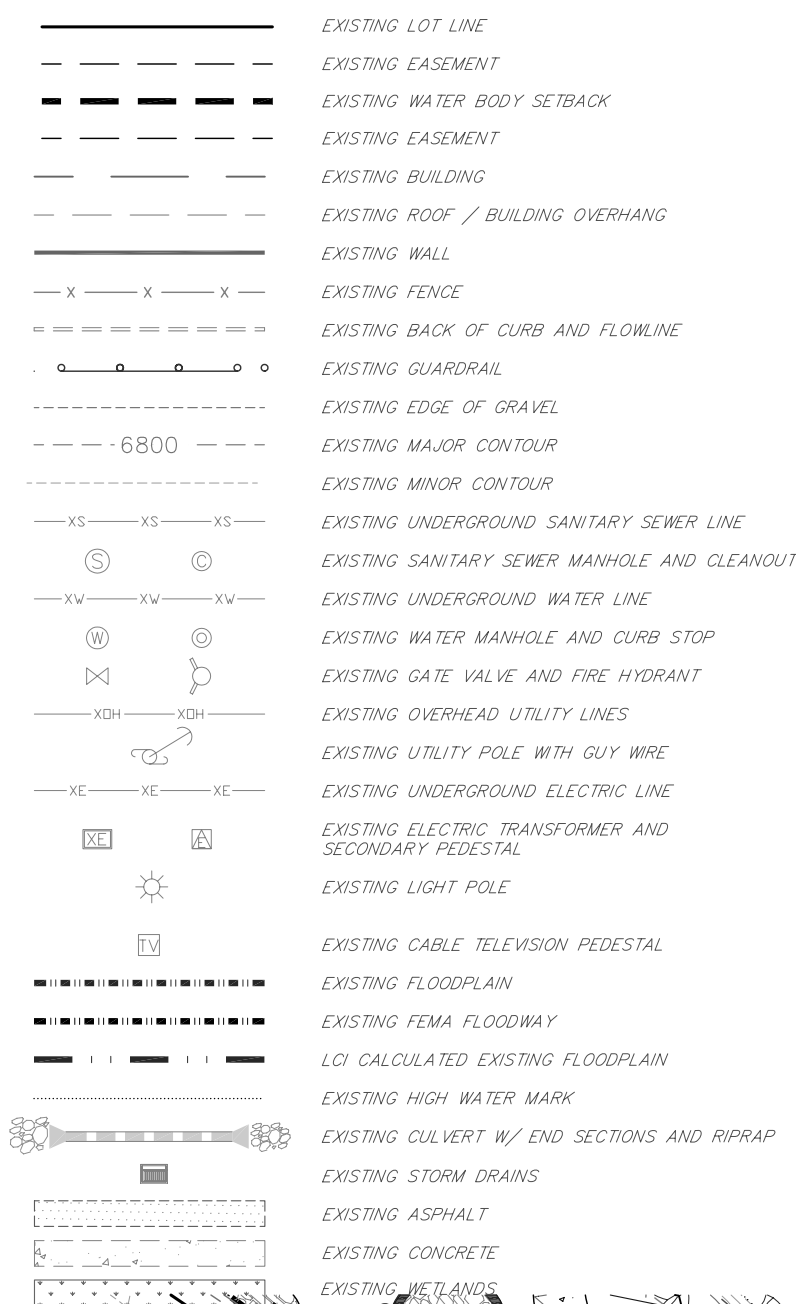
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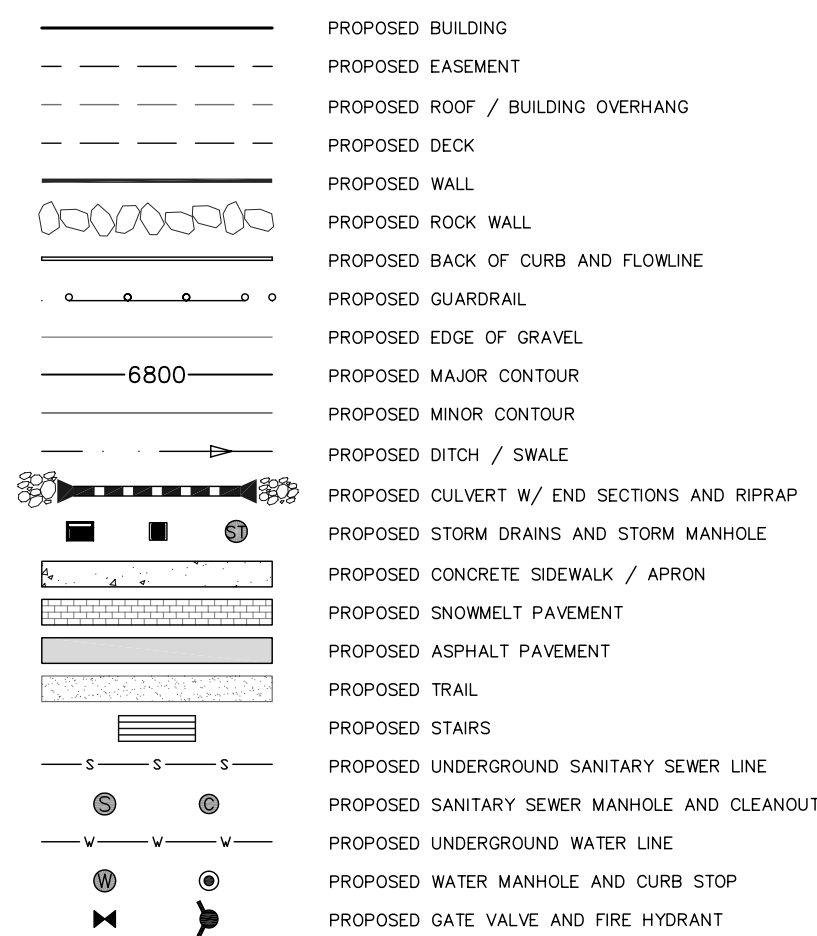
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7. FINAL LANE LAYOUT AND WIDTH, STRIPING, AND SIGNAGE TO BE INCLUDED WITH CIVIL CONSTRUCTION DRAWINGS.

**EXISTING LEGEND**



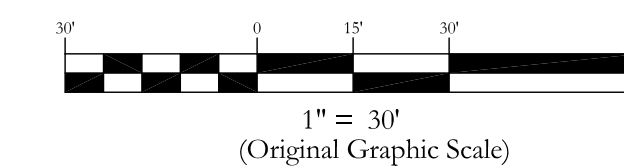
**PROPOSED GENERAL LEGEND**



**NOMENCLATURE:**

- BFE - BASE FLOOD ELEVATION
- BOS - BOTTOM OF STEP
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**Horizontal Scale**

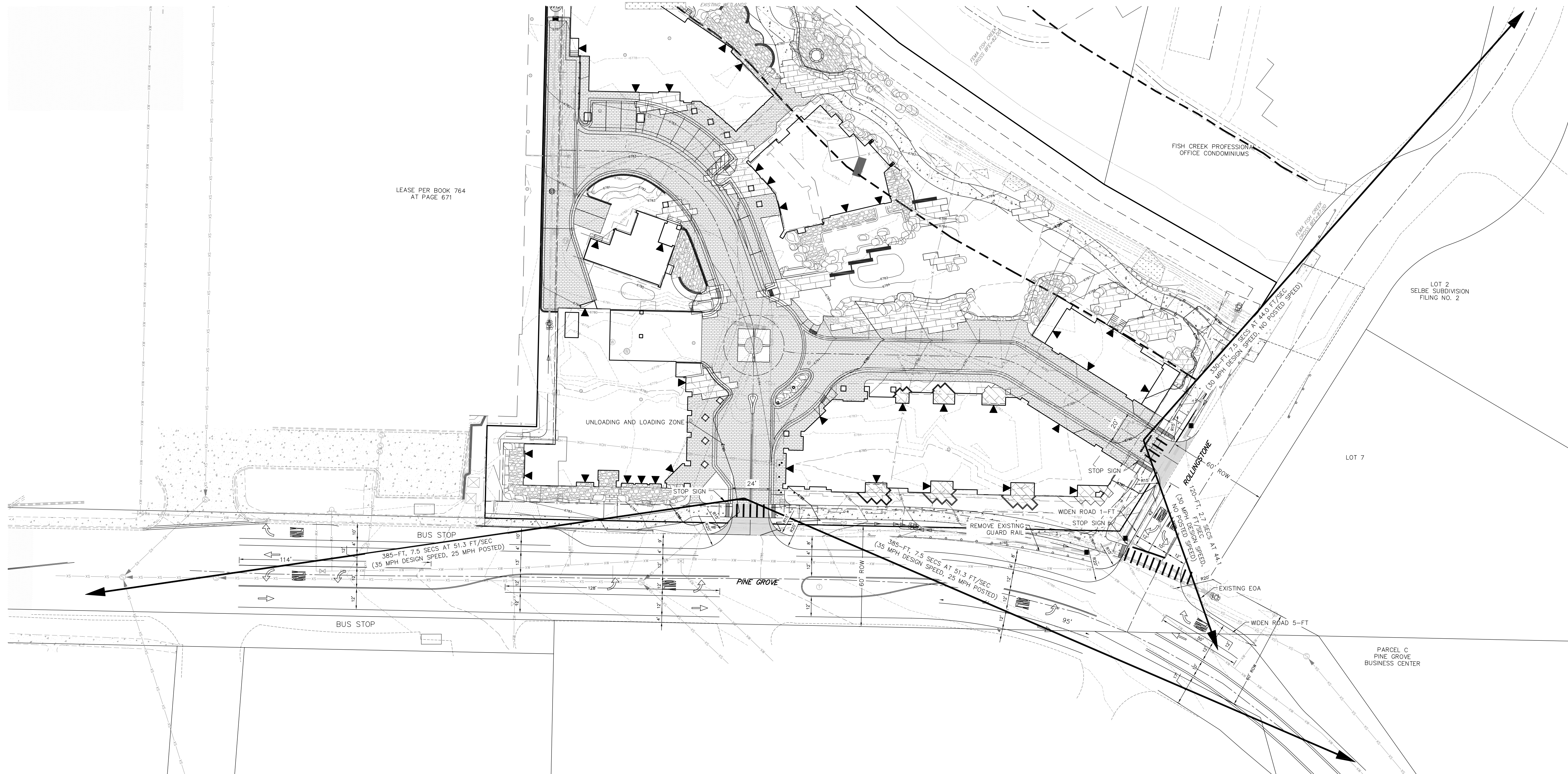


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DPF REVISIONS	2.06.09

DRAWING TITLE  
PINE GROVE & ROLLINGSTONE  
STRIPING  
IMPROVEMENTS

SHEET NO.

**DPF8.3**

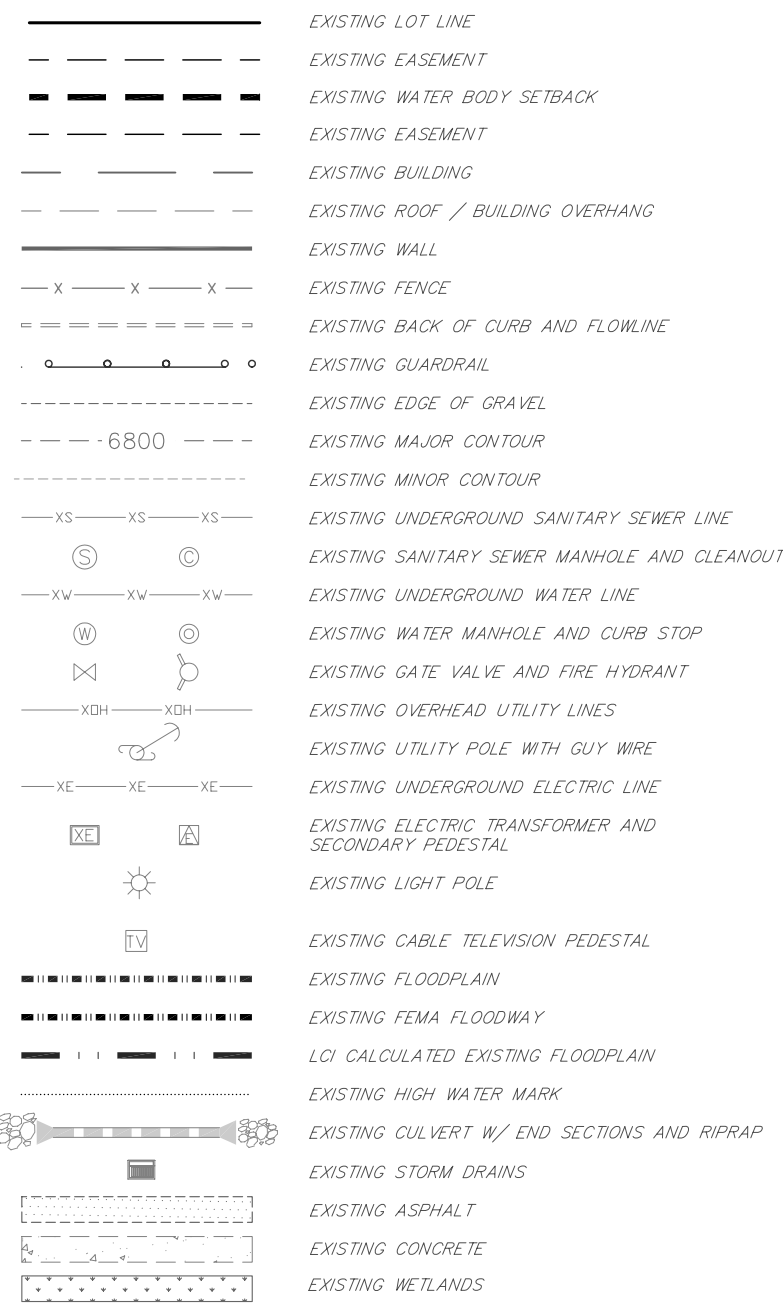
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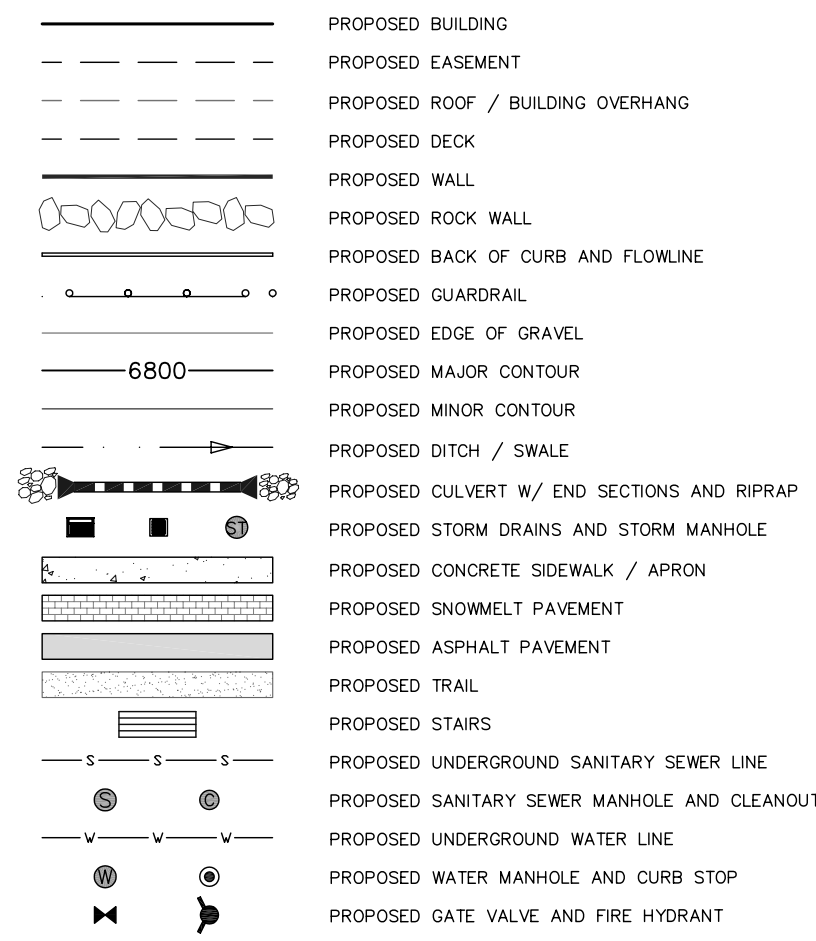
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**EXISTING LEGEND**

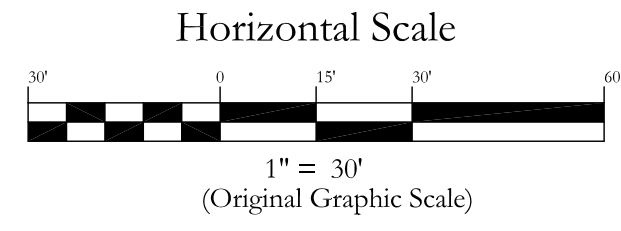


**PROPOSED GENERAL LEGEND**



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- TOW - TOP OF WALL
- UN - UNLESS OTHERWISE NOTED
- VCP - VITRIFIED CLAY PIPE



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DRAWING TITLE  
**PINE GROVE & ROLLINGSTONE STRIPING IMPROVEMENTS W/ AERIAL PHOTO**

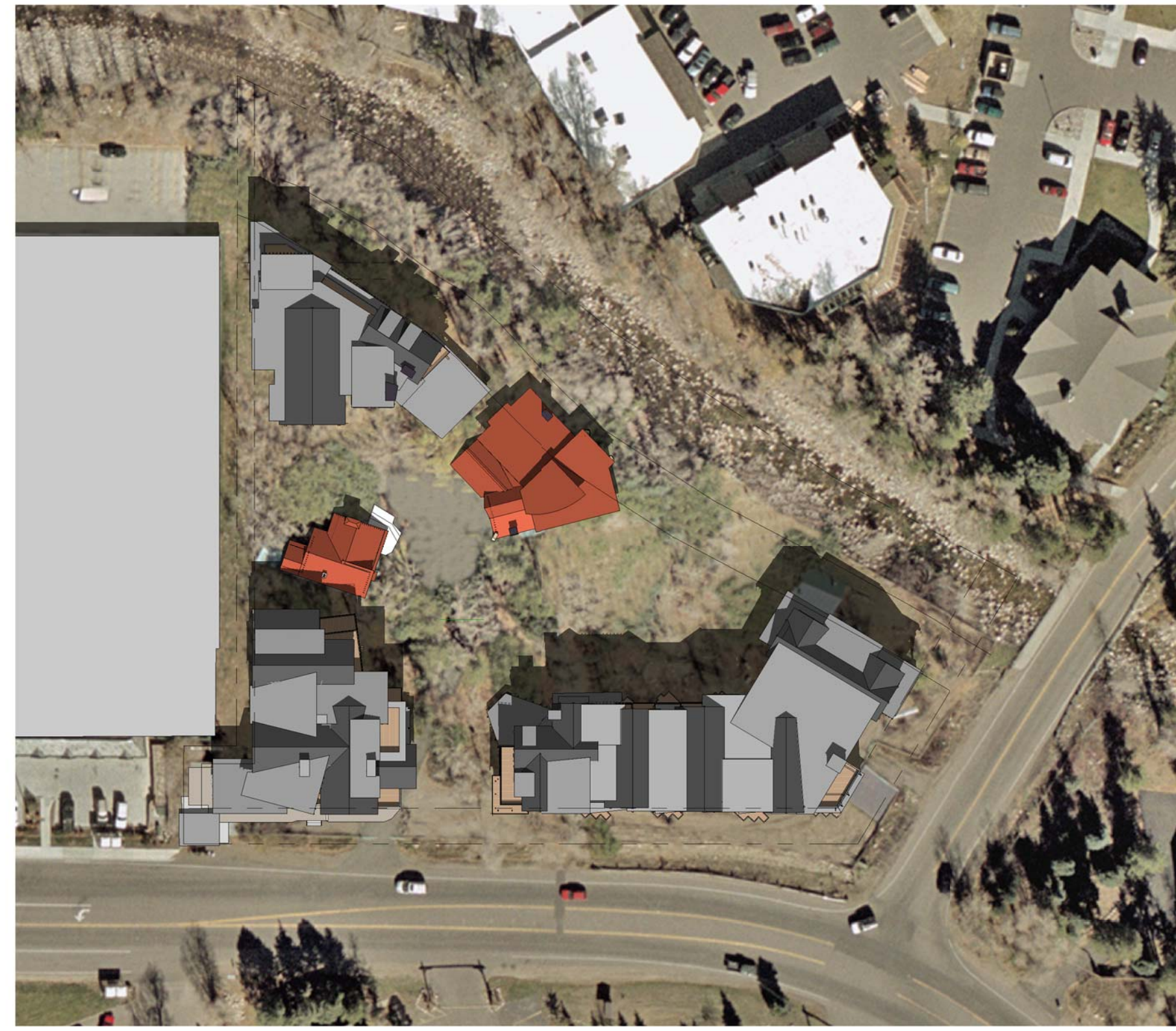
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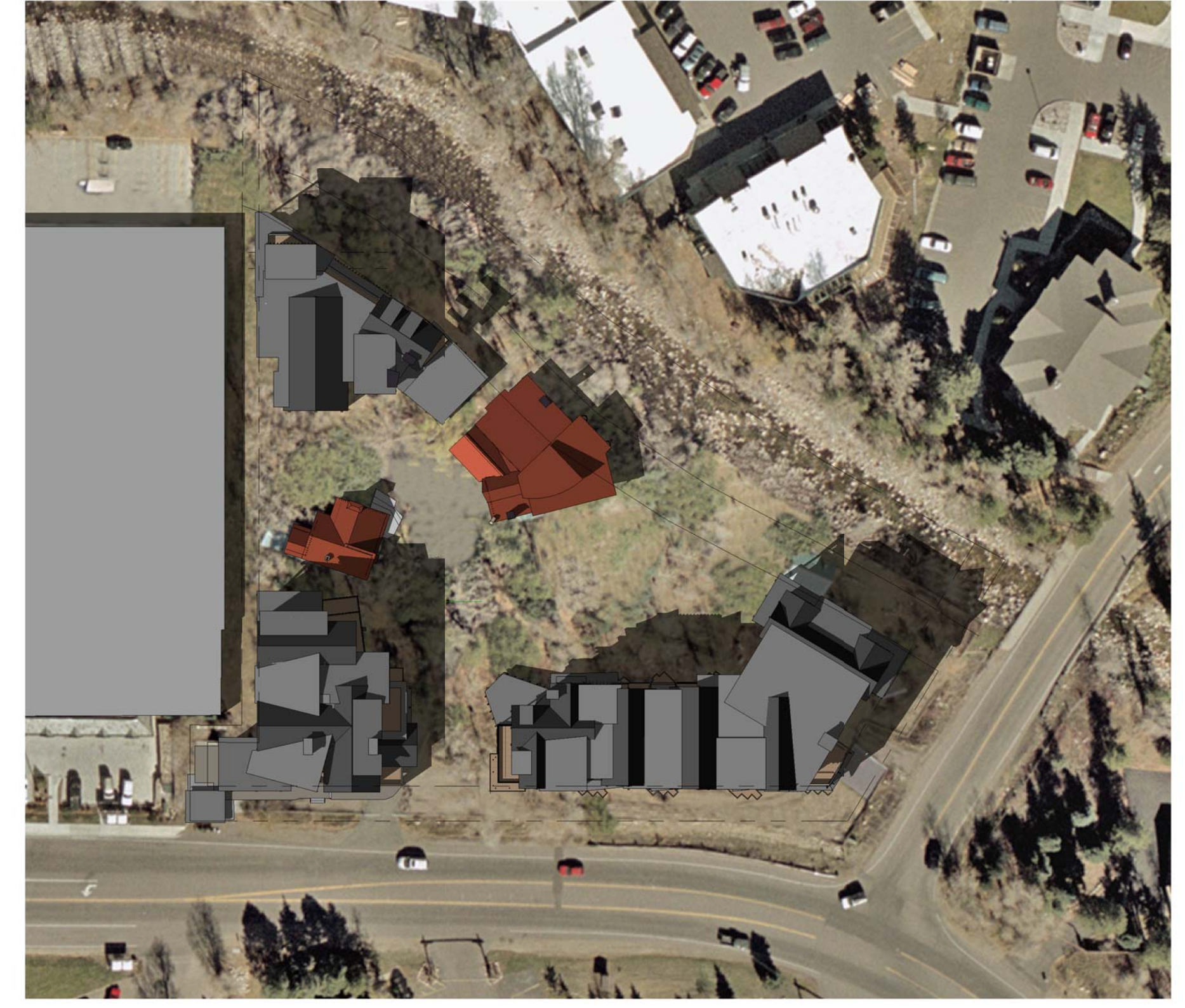
**NOT FOR CONSTRUCTION**



① March 21st, 9 a.m.  
NTS



② March 21st, 12 p.m.  
NTS



③ March 21st, 3 p.m.  
NTS



④ December 21st, 9 a.m.  
NTS



⑤ December 21st, 12 p.m.  
NTS



⑥ December 21st, 3 p.m.  
NTS



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**Rollingstone Village**  
1480 Pine Grove Road  
Steamboat Springs, Colorado  
#0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09

DRAWING TITLE  
**SHADOW  
PLANS**

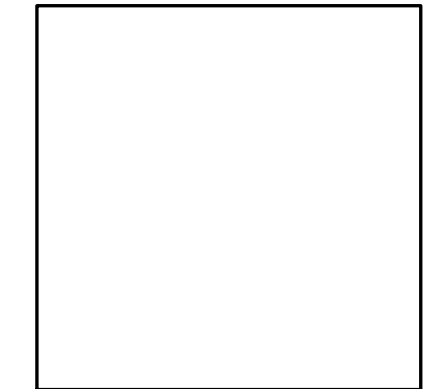
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12/30/2008 8:19:04 PM

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**Rollingstone Village**  
 1480 Pine Grove Road  
 Steamboat Springs, Colorado  
 #0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09

DRAWING TITLE  
**UNDER-  
 GROUND  
 PARKING  
 FLOOR PLAN**

SHEET NO.

**DPF10.1**

12/31/2008 9:32:00 AM

**NOT FOR CONSTRUCTION**

**Area Legend**

- Commercial
- Parking
- Support
- Vertical Circulation

Parking Garage Gross Square Footage	
Name	Area
Parking Garage Floor	51484 SF
Grand total	51484 SF

\* AREA NOT INCLUDED IN F.A.R



1 Underground Parking Floor Plan  
 1/16" = 1'-0"

NORTH

Property Line

Property Line

Property Line

Property Line

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

DRAWING TITLE  
**MAIN FLOOR PLANS**

SHEET NO.

**DPF10.2**

2/8/2009 1:04:41 PM

**NOT FOR CONSTRUCTION**

**Area Legend**

- Amenity
- Circulation
- Commercial
- Decks
- Lobby
- One Bedroom
- One Bedroom + Den
- Restaurant
- Spa
- Support
- Three Bedroom-Two Story
- Two Bedroom
- Two Bedroom-Two story
- Vertical Circulation

Building 'A' Gross Square Footage	
Name	Area
Building 'A' Main Floor	6782 SF
Building 'A' Second Floor	7229 SF
Building 'A' Third Floor	6189 SF
Building 'A' Fourth Floor	5549 SF
Grand total	25749 SF

Building 'B-C' Gross Square Footage	
Name	Area
Building 'B' Main Floor	8777 SF
Building 'B' Second Floor	8861 SF
Building 'B-C' Third Floor	12538 SF
Building 'B-C' Fourth Floor	11204 SF
Grand total	41380 SF

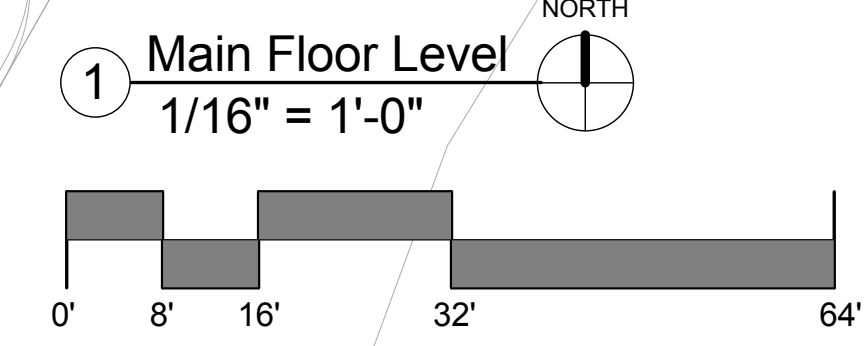
Building 'D' Gross Square Footage	
Name	Area
Building 'D' Main Floor	3824 SF
Building 'D' Upper Floor	2469 SF
Grand total	6294 SF

Building 'E' Gross Square Footage	
Name	Area
Building 'E' Lower Floor	556 SF
Building 'E' Main Floor	1202 SF
Grand total	1758 SF

Building 'F' Gross Square Footage	
Name	Area
Building 'F' Main Floor	6149 SF
Building 'F' Second Floor	5690 SF
Building 'F' Third Floor	5621 SF
Building 'F' Fourth Floor	4858 SF
Grand total	22317 SF



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**Rollingstone Village**  
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#0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

DRAWING TITLE  
**SECOND FLOOR PLANS**

SHEET NO.

**DPF10.3**

2/8/2009 1:04:57 PM

4-46

**Area Legend**

- Amenity
- Circulation
- Decks
- One Bedroom
- One Bedroom + Den
- Spa
- Studio
- Support
- Three Bedroom
- Three Bedroom-Two Story
- Two Bedroom
- Two Bedroom + Den
- Two Bedroom-Two story
- Vertical Circulation

Building 'A' Gross Square Footage	
Name	Area
Building 'A' Main Floor	6782 SF
Building 'A' Second Floor	7229 SF
Building 'A' Third Floor	6189 SF
Building 'A' Fourth Floor	5549 SF
Grand total	25749 SF

Building 'B-C' Gross Square Footage	
Name	Area
Building 'B' Main Floor	8777 SF
Building 'B' Second Floor	8861 SF
Building 'B-C' Third Floor	12538 SF
Building 'B-C' Fourth Floor	11204 SF
Grand total	41380 SF

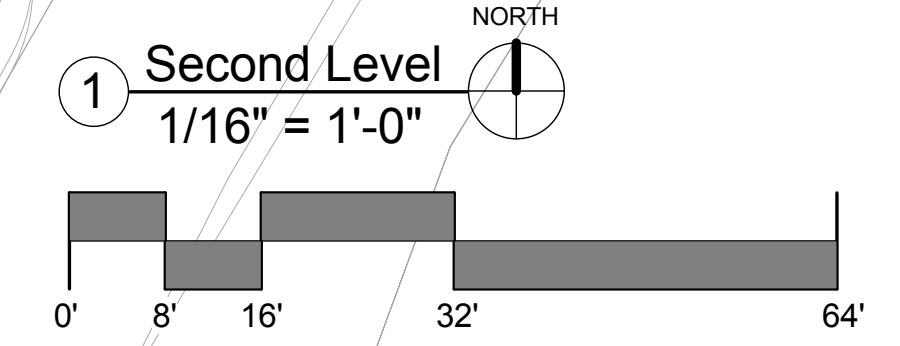
Building 'D' Gross Square Footage	
Name	Area
Building 'D' Main Floor	3824 SF
Building 'D' Upper Floor	2469 SF
Grand total	6294 SF

Building 'E' Gross Square Footage	
Name	Area
Building 'E' Lower Floor	556 SF
Building 'E' Main Floor	1202 SF
Grand total	1758 SF

Building 'F' Gross Square Footage	
Name	Area
Building 'F' Main Floor	6149 SF
Building 'F' Second Floor	5690 SF
Building 'F' Third Floor	5621 SF
Building 'F' Fourth Floor	4858 SF
Grand total	22317 SF



NOT FOR CONSTRUCTION

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

DRAWING TITLE  
**THIRD FLOOR PLANS**

SHEET NO.

**DPF10.4**

2/8/2009 1:05:17 PM

4-47

**Area Legend**

- Circulation
- Decks
- One Bedroom
- One Bedroom + Den
- Studio
- Support
- Three Bedroom
- Two Bedroom
- Two Bedroom + Den
- Vertical Circulation

Building 'A' Gross Square Footage	
Name	Area
Building 'A' Main Floor	6782 SF
Building 'A' Second Floor	7229 SF
Building 'A' Third Floor	6189 SF
Building 'A' Fourth Floor	5549 SF
Grand total	25749 SF

Building 'B-C' Gross Square Footage	
Name	Area
Building 'B' Main Floor	8777 SF
Building 'B' Second Floor	8861 SF
Building 'B-C' Third Floor	12538 SF
Building 'B-C' Fourth Floor	11204 SF
Grand total	41380 SF

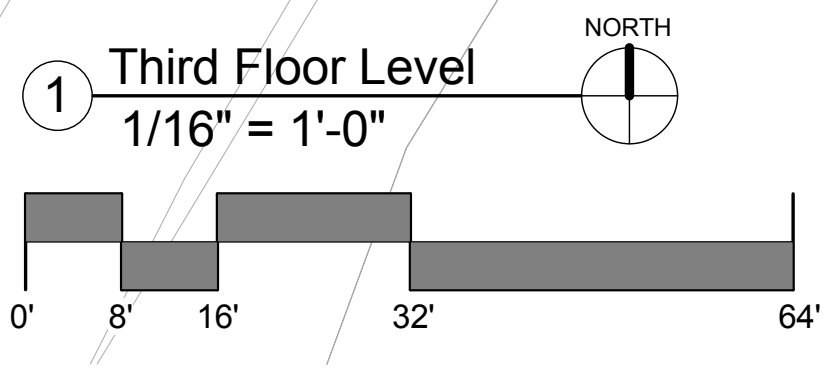
Building 'D' Gross Square Footage	
Name	Area
Building 'D' Main Floor	3824 SF
Building 'D' Upper Floor	2469 SF
Grand total	6294 SF

Building 'E' Gross Square Footage	
Name	Area
Building 'E' Lower Floor	556 SF
Building 'E' Main Floor	1202 SF
Grand total	1758 SF

Building 'F' Gross Square Footage	
Name	Area
Building 'F' Main Floor	6149 SF
Building 'F' Second Floor	5690 SF
Building 'F' Third Floor	5621 SF
Building 'F' Fourth Floor	4858 SF
Grand total	22317 SF



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**Area Legend**

- Circulation
- Decks
- One Bedroom
- Studio
- Support
- Three Bedroom
- Two Bedroom
- Two Bedroom + Den
- Vertical Circulation

Building 'A' Gross Square Footage	
Name	Area
Building 'A' Main Floor	6782 SF
Building 'A' Second Floor	7229 SF
Building 'A' Third Floor	6189 SF
Building 'A' Fourth Floor	5549 SF
Grand total	25749 SF

Building 'B-C' Gross Square Footage	
Name	Area
Building 'B' Main Floor	8777 SF
Building 'B' Second Floor	8861 SF
Building 'B-C' Third Floor	12538 SF
Building 'B-C' Fourth Floor	11204 SF
Grand total	41380 SF

Building 'D' Gross Square Footage	
Name	Area
Building 'D' Main Floor	3824 SF
Building 'D' Upper Floor	2469 SF
Grand total	6294 SF

Building 'E' Gross Square Footage	
Name	Area
Building 'E' Lower Floor	556 SF
Building 'E' Main Floor	1202 SF
Grand total	1758 SF

Building 'F' Gross Square Footage	
Name	Area
Building 'F' Main Floor	6149 SF
Building 'F' Second Floor	5690 SF
Building 'F' Third Floor	5621 SF
Building 'F' Fourth Floor	4858 SF
Grand total	22317 SF



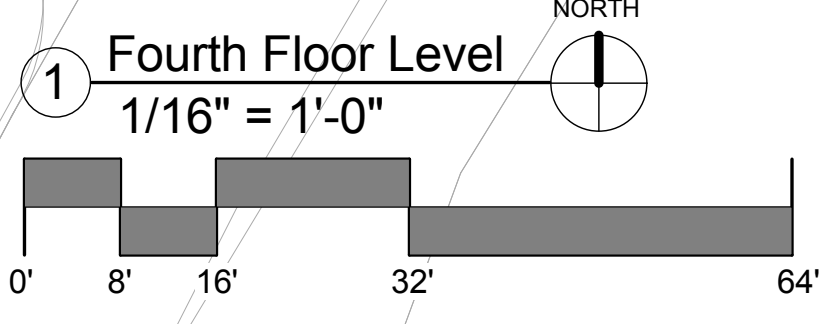
**Rollingstone Village**  
 1480 Pine Grove Road  
 Steamboat Springs, Colorado  
 #0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

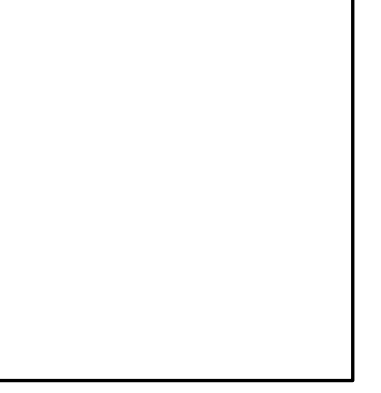
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SHEET NO.  
**DPF10.5**

**NOT FOR CONSTRUCTION**







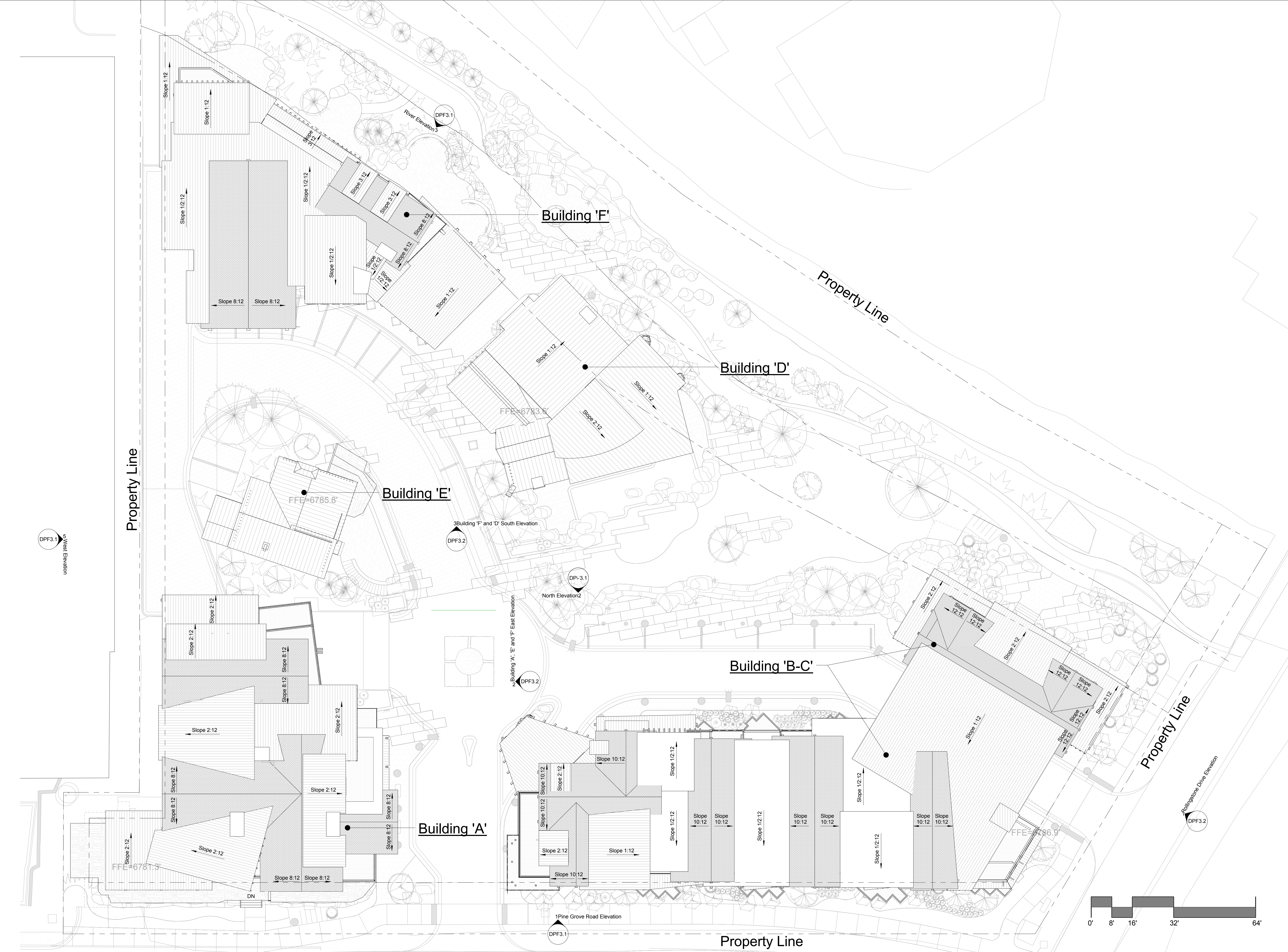
**Rollingstone Village**  
1480 Pine Grove Road  
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#0718

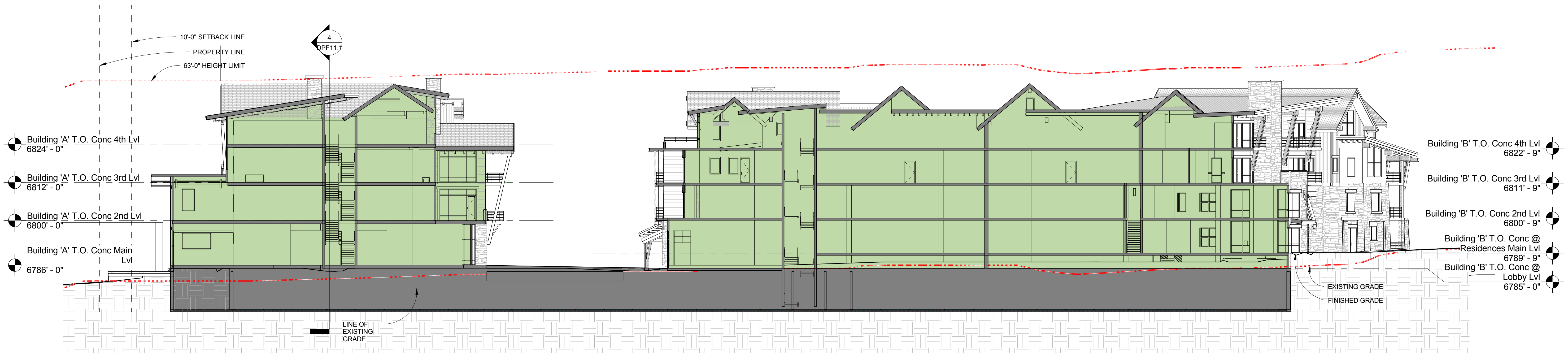
ISSUE NAME	DATE
DPF SUBMITTAL	1.5.09
DPF REVISIONS	02.06.09

DRAWING TITLE  
**ROOF PLANS**

SHEET NO.  
**DPF10.6**

NOT FOR CONSTRUCTION

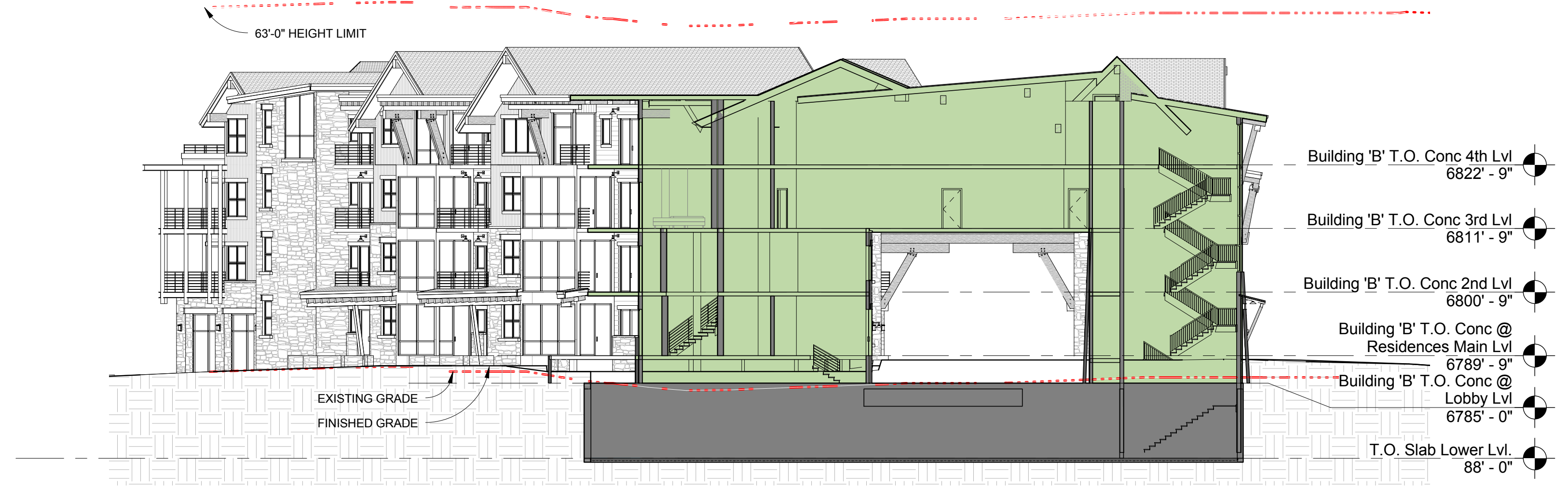




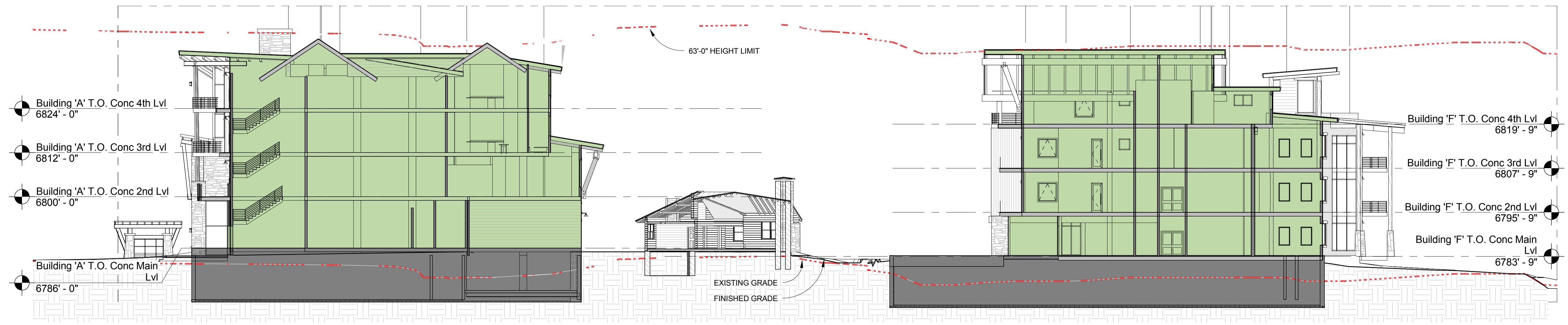
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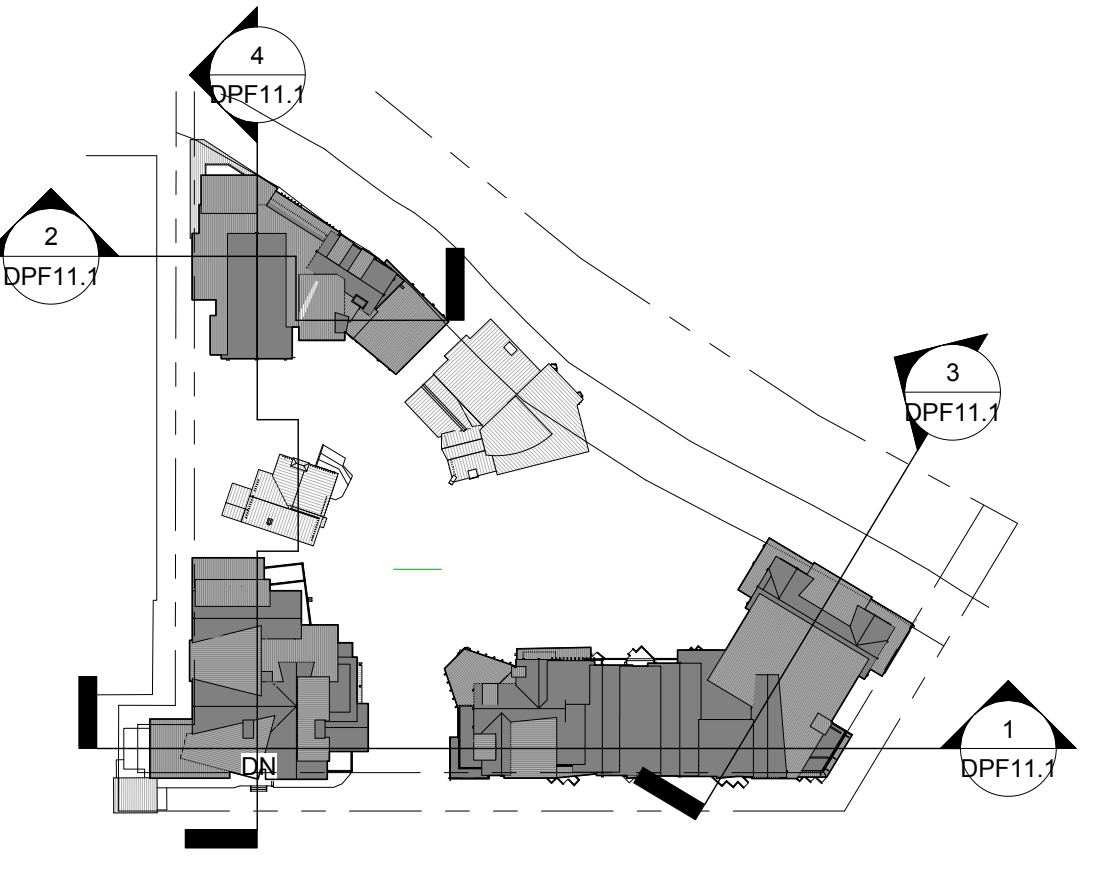
② Section 2  
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③ Section 3  
1/16" = 1'-0"



④ Section 4  
1/16" = 1'-0"



⑤ Key Plan  
1" = 100'-0"

**Rollingstone Village**  
1480 Pine Grove Road  
Steamboat Springs, Colorado  
#0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09

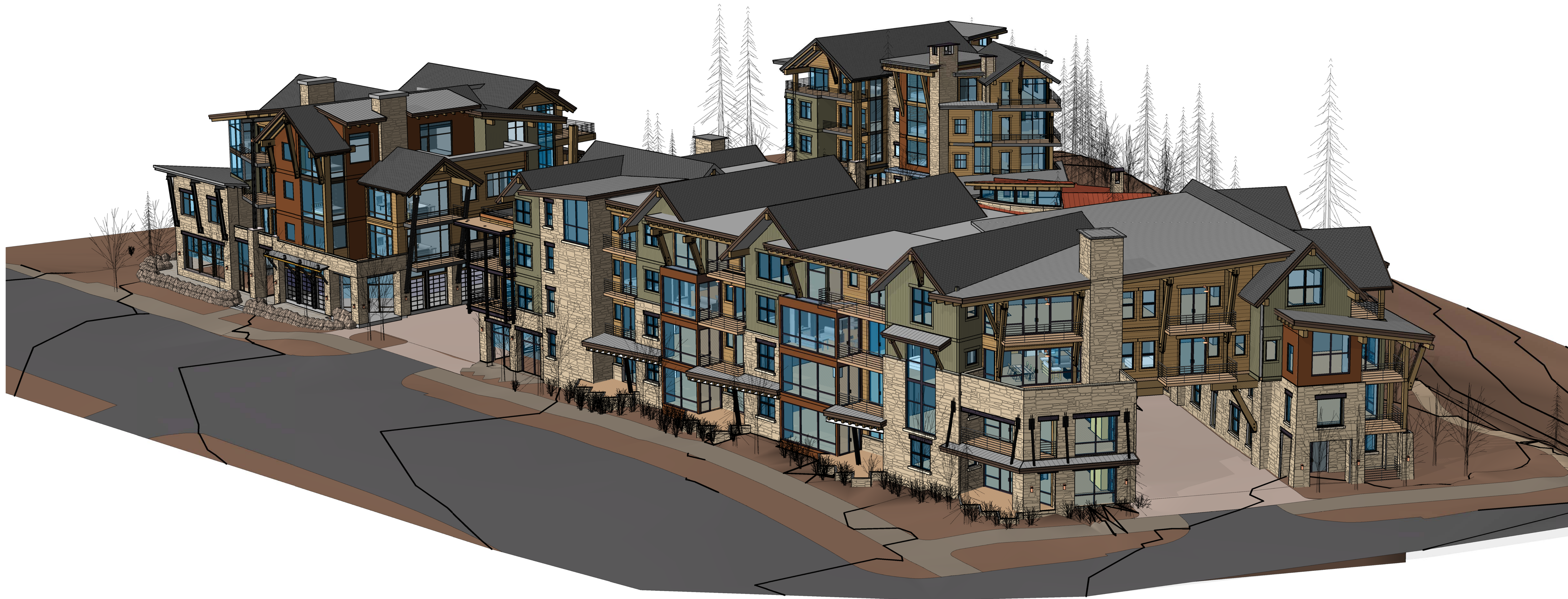
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**BUILDING/SITE SECTIONS**

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12/30/2008 8:30:48 PM

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1480 Pine Grove Road  
Steamboat Springs, Colorado  
#0718

① Southeast Aerial

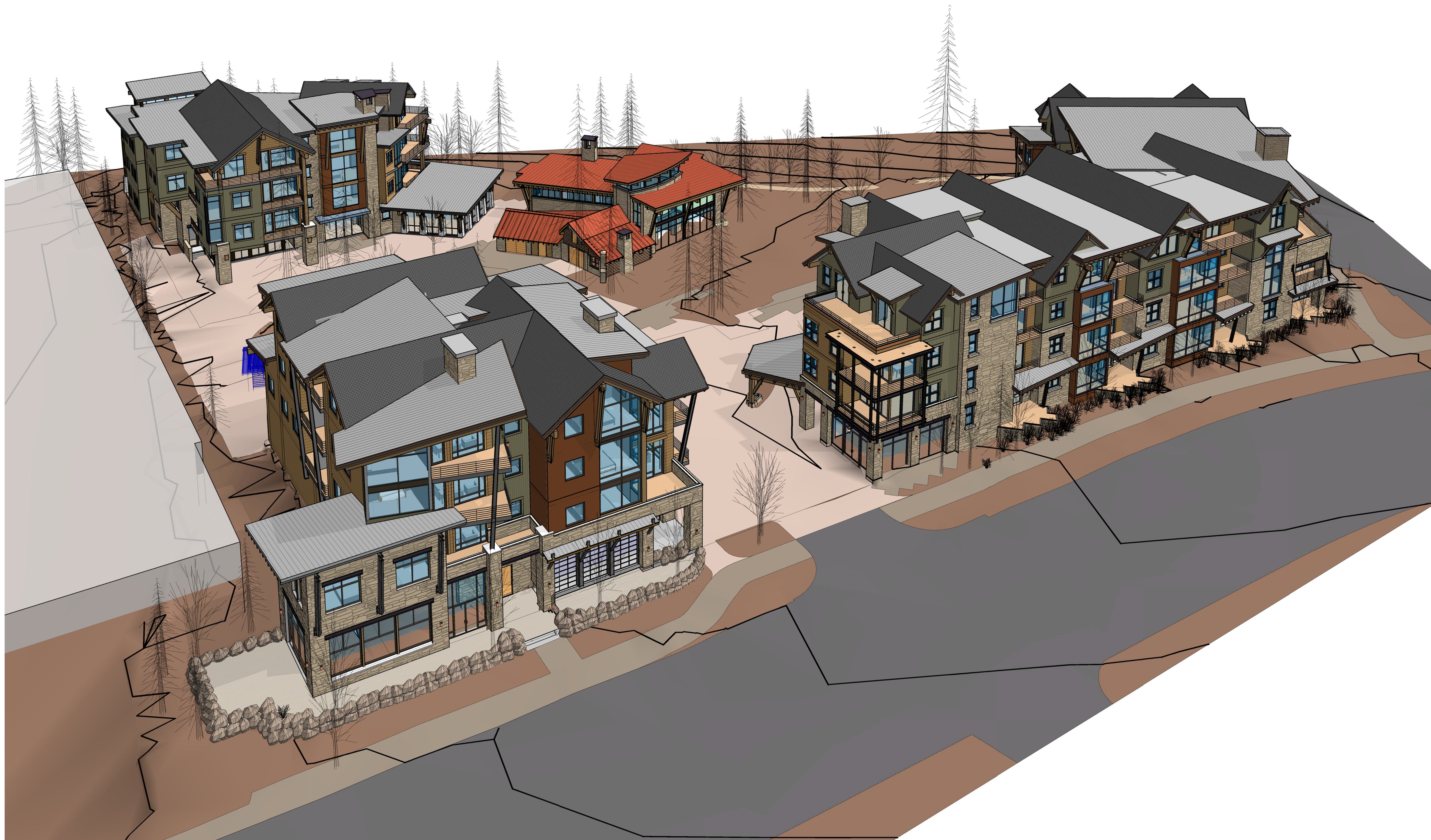
ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09

DRAWING TITLE  
**SOUTHEAST  
AERIAL**

SHEET NO.  
**DPF11.2**

2/8/2009 1:21:24 PM

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ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09

DRAWING TITLE  
**SOUTHWEST  
AERIAL**

SHEET NO.

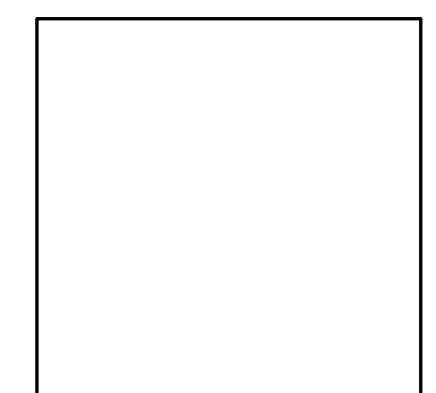
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2/8/2009 1:33:07 PM

4-52

① Southwest Aerial

**NOT FOR CONSTRUCTION**



**Rollingstone Village**  
1480 Pine Grove Road  
Steamboat Springs, Colorado  
#0718

ISSUE NAME	DATE
PRE-APPLICATION	04.25.08
DP SUBMITTAL	10.17.08
DPF SUBMITTAL	1.5.09

DRAWING TITLE  
**PERSPECTIVES**

SHEET NO.  
**DPF11.4**

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① Perspective #1



③ Perspective#5



② Perspective #2



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DPF SUBMITTAL	1.5.09

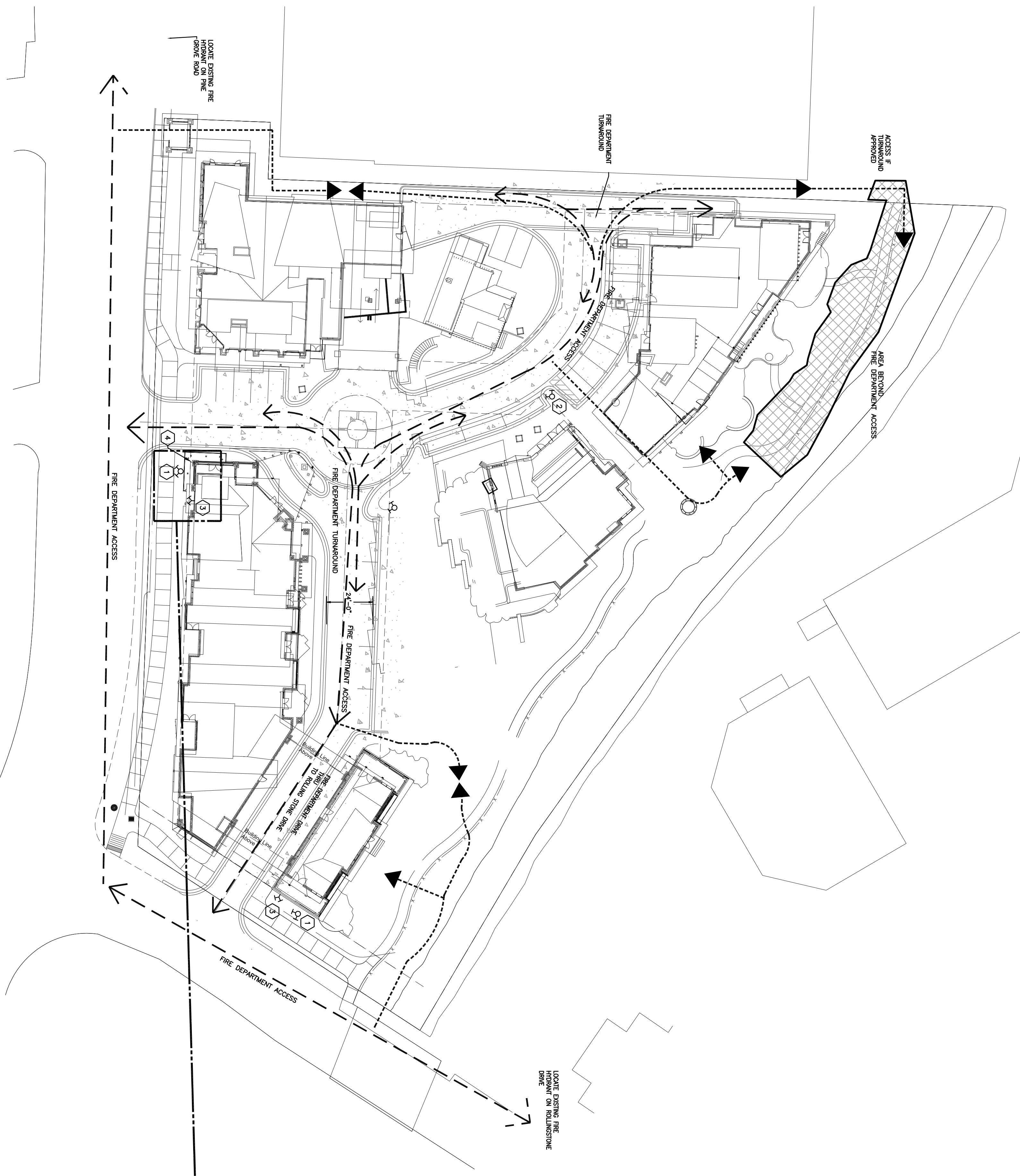
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**PERSPECTIVES**

SHEET NO.  
**DPF11.5**

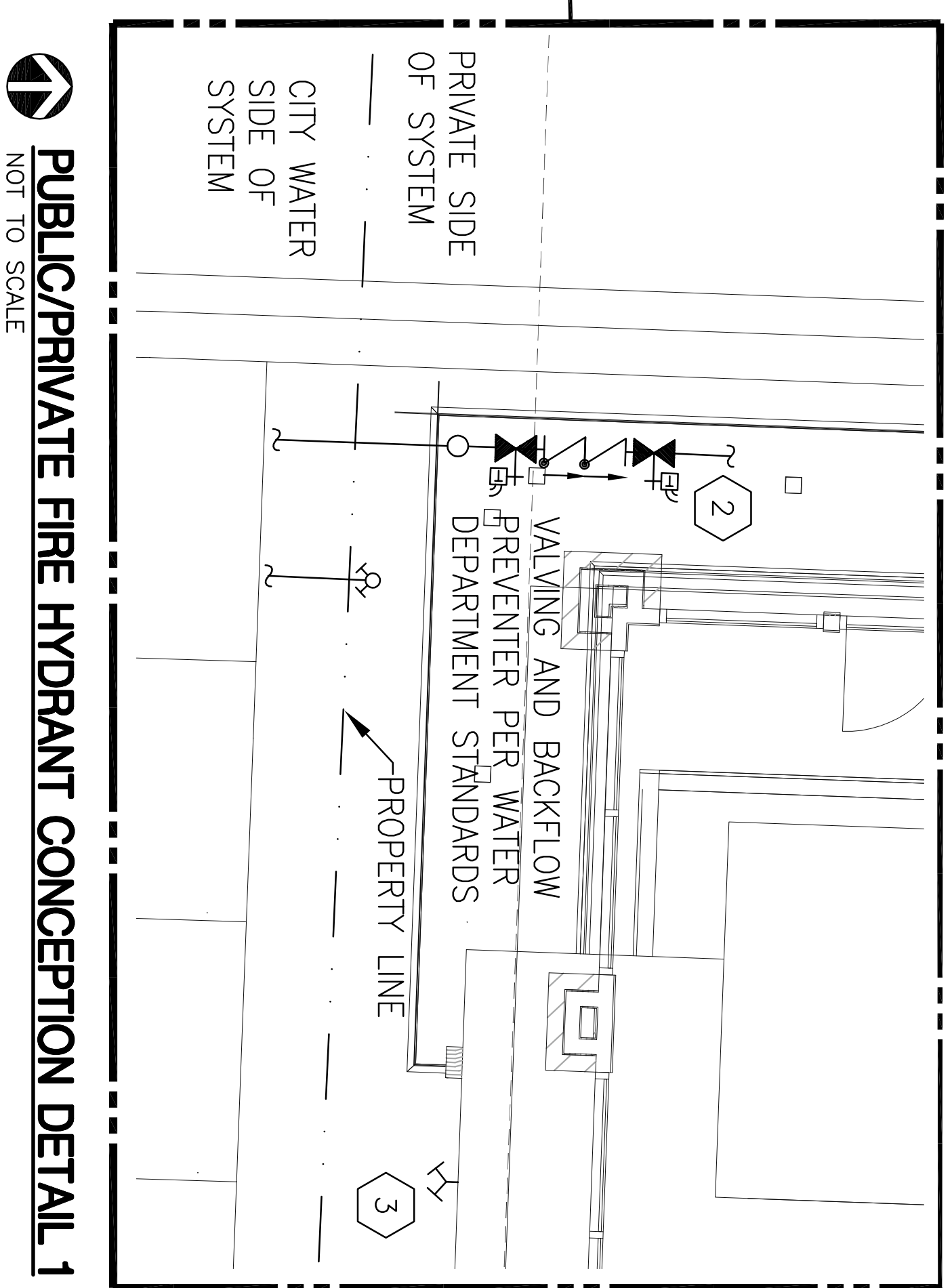
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① Perspective#6

**NOT FOR CONSTRUCTION**

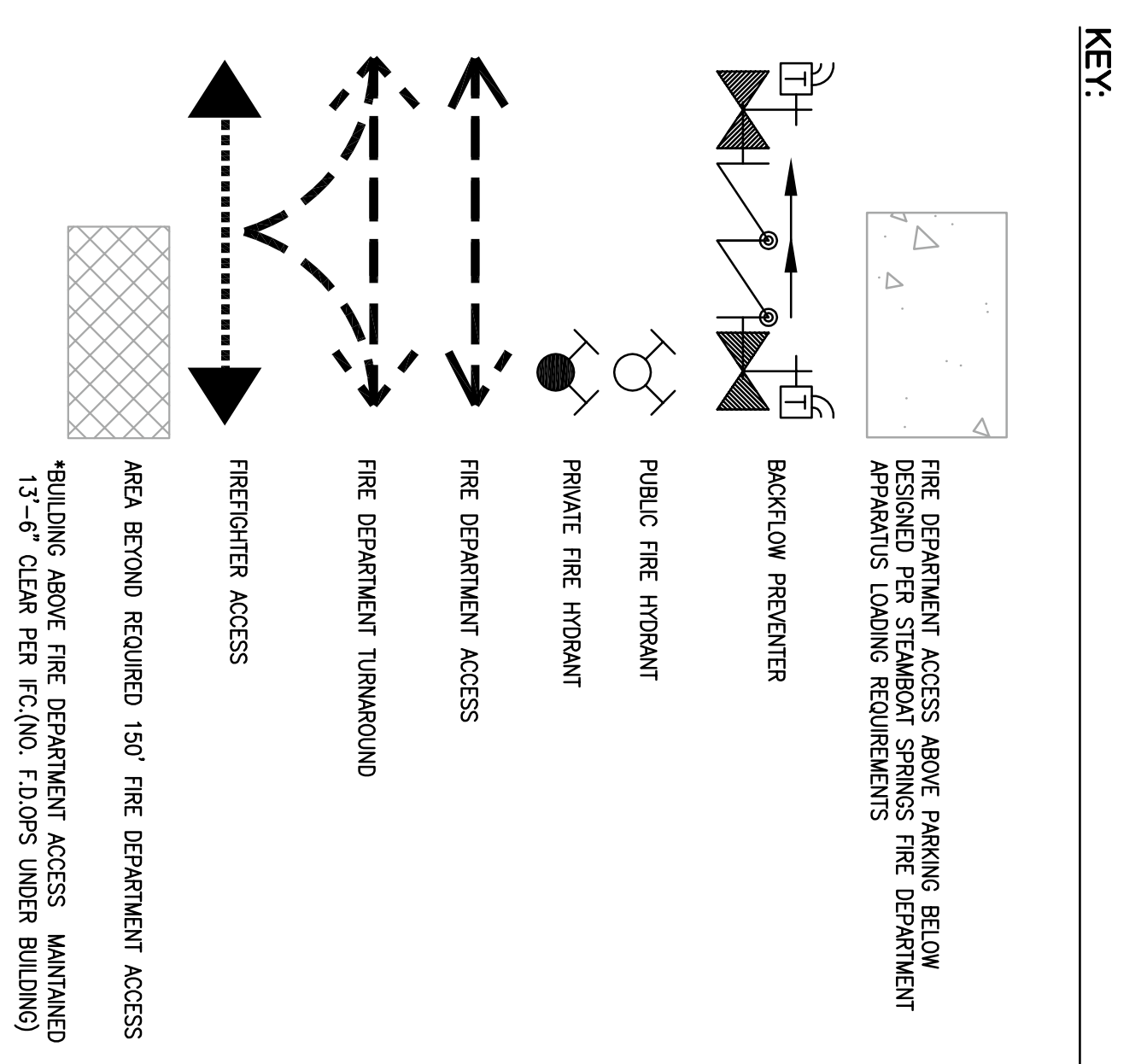


**FIRE PROTECTION ACCESS PLAN**  
 SCALE: 1/32" = 1'-0"  
 16' 8' 0 16' 32' 64'



**PUBLIC/Private FIRE HYDRANT CONCEPTION DETAIL 1**  
 NOT TO SCALE

- WORK NOTES:**
- 1) PUBLIC FIRE HYDRANTS, ALL FIRE HYDRANTS ON THE SITE IN THE PUBLIC RIGHT OF WAY WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE WATER STANDARDS.
  - 2) PRIVATE FIRE HYDRANTS, ALL FIRE HYDRANTS ON THE STRUCTURAL DECK WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 24-INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND BRANCHES. THE HYDRANT SHALL BE INSTALLED WITH A 5' CLEARANCE FROM THE BUILDING AND THE PRIVATE WATER SYSTEM WILL CONTINUE FROM THAT POINT. DETAILS OF THE PRIVATE FIRE PROTECTION SYSTEM WILL BE PROVIDED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL AS THE DESIGN PROCEEDS.
  - 3) FIRE DEPARTMENT CONNECTION (INTERCONNECT)
  - 4) APPROXIMATE LOCATION FOR PUBLIC AND PRIVATE WATER SYSTEM CONNECTION AND TRANSITION.



# ROLLINGSTONE VILLAGE STEAMBOAT SPRINGS

Issue Record#	Description	Date
1	DP Submittal	10.17.08
2	DPP Submittal	01.02.09

Sheet Title:  
**FIRE PROTECTION ACCESS PLAN**

Date: SEPTEMBER 17, 2008  
 Scale: AS NOTED  
 Drawn by: KRQ  
 Checked by: SCR

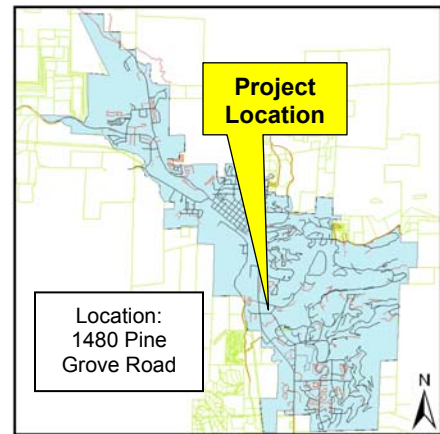
Sheet no:  
**FP.01**  
 1 OF 1

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 www.bcgcr.com

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## DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT STAFF REPORT

<b>HISTORIC PRESERVATION ADVISORY COMMISSION AGENDA ITEM 7B :</b>	
<b>Project Name:</b>	Rollingstone Village, 1480 Pine Grove Road DP-08-07
<b>Prepared By:</b>	Alexis Casale, Historic Preservation Planner (Ext 202)
<b>Through:</b>	Tom Leeson, AICP Director of Planning Services (Ext. 244)
<b>Historic Preservation Advisory Commission (HPAC):</b>	November 24, 2008
<b>Planning Commission (PC):</b>	TBD
<b>City Council (CC):</b>	TBD
<b>Zoning:</b>	Community Commercial (CC)
<b>Applicant:</b>	Rollingstone Development Corp Peter Kreissig PO Box 882078 Steamboat Springs, CO 80488
<b>Request:</b>	A Development Plan for new construction and an addition to an existing structure has been submitted for approval



<b>Staff Report - Table of Contents</b>		
Section		Pg
I.	Staff Analysis Summary	2
II.	Background	2
III.	Principal Discussion Items	3
IV.	Project Description	3
V.	Project Analysis	4
VI.	Standards & Staff Analysis	5
VII.	Motion	6
VIII.	Attachments	6



## 1480 Pine Grove Road



### I. STAFF ANALYSIS SUMMARY

The proposed Rollingsstone Village, located at 1480 Pine Grove Road in the Community Commercial (CC) Zone District, consists of six existing structures in which a 1-story residence and 1 ½ -story detached garage were constructed in 1941. The Development Plan proposes to remove the existing four non-historic structures and adaptively re-use the historic structures. The Development Plan proposes to construct four new buildings for commercial and residential use and to construct an addition to the detached garage. The historic structures are good examples of Rustic style architecture and therefore most likely eligible to the local register for architectural significance. The new construction is large in mass and scale as per the CC Zoning District; however, the Design Guidelines and Standards state new construction should reflect the scale and proportions of significant historic structures. The addition to the detached garage, while located to the rear of the structure, does not comply with the Design Guidelines or Secretary of Interior Standards and therefore, staff recommends denial for the Development Plan.

### II. BACKGROUND

A Development Plan request for Rollingsstone Village at 1480 Pine Grove Road consisting of four new structures and an addition to an existing historic detached garage was submitted. Staff recommends that the Commission:

1. Review the information on the existing buildings and site

- 
2. Review the information on the project
  3. Compare the proposed project to the applicable Design Guidelines, Design Standards and Secretary of Interior Standards
  4. Provide comments regarding the project based on application of the Guidelines and Standards
  5. Recommend denial of the proposed Development Plan

### **III. PRINCIPAL DISCUSSION ITEMS**

Principal discussion items include:

- The potential historical and architectural significance of the existing structures
- The new construction and its relation to the existing historic structures with regard to the Design Guidelines for New Construction, Design Standards and Secretary of Interior Standards
  - Mass
  - Scale
- The addition to the existing detached garage in regards to the Design Guidelines for New Additions and the Secretary of Interior Standards

Please note that the project site is within the Community Commercial Zone District; therefore, the Design Guidelines apply. The CC Zone District encourages larger office, retail, cultural and entertainment services in mix-use developments according to the Steamboat Springs Area Community Plan.

### **IV. PROJECT DESCRIPTION**

Located in Lot 6 in the Selbe Subdivision, the site is situated directly east of the Safeway property and surrounded by commercial uses. The site is fronted by Pine Grove Road to the south, Rollingstone Drive to the west and Fish Creek to the north. The current site houses six structures. Construction dates for three of the buildings are listed as 1980 by the Routt County Assessor and an accessory structure is dated 1963. The original 1-story house and 1 ½-story detached garage were constructed in 1941 according to the Routt County Assessor. They are good examples of Rustic style architecture and therefore most likely eligible to the Routt County Register of Historic Properties. Rustic style is embodied in its setting, materials and craftsmanship. These elements are visible throughout the house and garage. Stone foundations are evident on both structures with log construction and overhanging roofs. Craftsmanship is evident in the details at the joints, scalloping fascia board, exposed rafters and fenestration. The structures both have metal roofs as customary in Steamboat Springs. The setting of the site is heavily vegetated with an abundance of mature trees.

The proposed new construction for the Rollingstone Village consists of an addition to the existing detached garage (Building D). The proposed 2 ½-story addition will be located to the rear of the existing building. The addition proposes to implement modern elements of the Rustic style with exposed rafters, varying sloping roof lines, large areas of windows, a chimney at the rear of the addition and a new chimney at the west elevation and a stone veneer. The addition is flush to the rear elevation of the garage and proposes to jog-back in the wall plane from the side elevations, maintaining the cross log joints.

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The proposed Rollingsstone Village will retain the historic residence (Building E) and alter its use. However, a section of the rectangular wing nearest the Safeway property will be removed.

The proposed new construction for the Rollingsstone Village consists of four new buildings (Building A, B, C and F) consisting of residential and commercial uses. Building A's proposed location is at the southeast corner of the property bound by Pine Grove Road and the Safeway Property. This Building is adjacent to the historic 1941 residence at its north. Building F's proposed location is at the northeast corner bound by the Safeway property and Fish Creek and is adjacent to the existing 1941 detached garage. Building C's proposed location is at the northwest corner bound by Fish Creek and Rollingsstone Drive. Building B's proposed location is at the southwest corner bound by Rollingsstone Drive and Pine Grove Road. The proposed 4-story buildings implement break-ups in the facades at various bays. The various sloping roofs are interjected with gables approximately 2 bays in width. Building F proposes to step down in height to a projecting 1-story element adjacent to the detached garage. Building A, adjacent to the residence, does not to step down in height, but rather has the underground garage entrance transition to the residence with a first level void at the corner.

## **V. PROJECT ANALYSIS**

The historic structures are significant in the area of architecture as representative of the Rustic style. Previously, an application for an addition to the historic residence was submitted in 2003. At that time, the Historic Preservation Advisory Commission determined that the building merited significance based on its age, integrity and representation of the Rustic style [HPAC Minutes-3.24.03]. Although the Commission recommended denial to the addition, it was subsequently approved; however, that approval has expired. The findings from the previous HPAC meeting in 2003 and further research support that the structures merit historic significance.

The proposed addition's large scale and its current connection to the rear of the existing structure, overwhelm the garage in mass and scale. The addition is not subordinate to the existing structure and is detrimental to its integrity and significance.

The large scale construction of the four proposed buildings is consistent with the Steamboat Springs Community Plan for the CC Zone District. However, Design Guidelines and Standards state an acknowledgement of significant historic structures. The new large mass of the buildings cannot negatively affect the historic structures and should step down in scale towards these resources. The new construction should also address the mature vegetation of the site. Rustic style architecture is also demonstrated in its natural setting.

### Secretary of Interior Standards

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

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*New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

## **VI. STANDARDS & STAFF ANALYSIS**

### **New Construction**

**Consistent:** The applicant is commended on adaptively reusing the historic structures.

**Inconsistent:** Building A is too large next to the historic structure and does not comply with the following Design Standards and Guidelines. Consider stepping down in height the new construction towards the historic structures to preserve their character and to not overwhelm in mass and scale.

#### Design Guidelines for New Construction

##### Mass and Scale

**10.7** *On larger structures, step down a building's height toward the street, neighboring structures and the rear of the lot.*

#### Community Development Code

**Sec 26-133 (d) (2) a.** *New construction shall be visually harmonious with their surroundings, by reflecting or acknowledging the scale and proportions of adjacent structures, particularly historically significant structures.*

### **Addition- Detached Garage**

If a new addition to an historic building is to be constructed, it should be designed such that the early character of the original structure is maintained.

**Consistent:** The applicant does have the addition placed at the rear of the building while keeping it as a product of its own time.

**Inconsistent:** However, the addition should be subordinate in appearance to the main building. The joining of two masses to appear as one does not comply with Design Guidelines. Please consider using a connector to the new addition.

#### Design Guidelines for Building Additions

**9.6** *Design an addition to be compatible in size and scale with the main building.*

**9.7** *If it is necessary to design an addition that is taller than the historic building, set it back substantially from the significant facades and use a "connector" to link it to the historic building.*

**9.10** *Design an addition to a historic structure such that it will not destroy or obscure historically important architectural features.*

**VII. MOTION-**

Staff recommends the following motion:

The Historic Preservation Advisory Commission recommends denial of the application for a Development Plan for Rollingstone Village, DP-08-07 based on non-compliance of the following Design Guidelines, **9.6, 9.7, 9.10, 10.8** and Design Standard, **Sec 26-133 (d)(2)a**.

**VIII. ATTACHMENTS**

Attachment 1 – photographs of existing house and garage

Attachment 2 – plans

**CITY OF STEAMBOAT SPRINGS  
HISTORIC PRESERVATION ADVISORY COMMISSION MINUTES  
November 24, 2008**

The regular meeting of the Historic Preservation Advisory Commission was called to order at approximately 5:00 p.m. on Monday, November 24, 2008, in Citizen's Hall, Centennial Hall, 124 10th Street, Steamboat Springs, Colorado.

HPAC members in attendance were Chairperson D.J. Chotvac; Sally TeStrake; Johnny Walker; Bethanne Dressel (alt)

Absent: Cami Bunn

Staff members present were Lauren Schaffer, Historic Preservation Program Coordinator; Alexis Casale, Historic Preservation Planner; and Ginger Scott, Staff Assistant

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**a. Rollingsstone Village – Development Plan**

**STAFF PRESENTATION**

Casale gave the staff report. She stated some background – the site is located at 1480 Pine Grove Road, it is in the community Commercial Zone district. Currently the site has six structures, two of which are historic. The proposal is to remove the four non-historic structures, adaptively reuse the existing structures, and add four new structures. The new buildings will be commercial and residential in use as is consistent with the zone district. According to the Design Guidelines and Standards, the mass and scale of the new construction should reflect proportionally to the significant historic structures. Concerns are with mass and use of connections. Staff recommends denial of this project, based on noncompliance with these guidelines.

**APPLICANT PRESENTATION**

Bavosi said he believes the commissioners are aware of what they are trying to accomplish with this project. From their perspective the new buildings are significantly less in height than what is currently allowable. He stated they also think having that element on the river is going to make the historic buildings stand out, and having the open space will give the entire property a secluded and natural feeling. Bavosi said there will be a TAC meeting tomorrow, and they are here to answer questions.

**COMMISSIONER QUESTIONS AND DISCUSSION**

Commissioner Chotvac again outlined the process.

Commissioner Walker asked what the proposed use of the old residence is and if the footprint will remain the same.

Bavosi said it will be commercial, probably a retail component. They will be reducing the structure by one room to give access to a loading dock. They may also have to change

the interior to bring up to existing building code because they will be changing use from residential to commercial.

Lindh added that it has been maintained beautifully though.

Commissioner Dressel cited the Secretary of the Interior Standards, and voiced her concerns with both the joining of the new addition and garage without the connector piece or distinction, and also the size and the scale of the other buildings on the property (A and B in particular) and their proximity to the historic buildings.

Commissioner TeStrake also has concerns about not having any step down of the larger structures, specifically building A and B facing Pine grove road. As far as the detached garage, although they did do a commendable job of trying to incorporate some of the elements, the addition is not subordinate to the original, so it is inconsistent with the guidelines. Her feeling is that the proposed buildings dwarf the existing structures.

Commissioner Chotvacs agreed with other commissioners on this, they have always tried to be consistent with not compromising on mass and scale.

Schaffer clarified that the Design Guidelines don't state specific height restrictions but recommend blending them in with the existing historic structures.

Bavosi said he feels it is unrealistic to have these new structures be subordinate to one story structures. They feel that by incorporating the smaller existing structures into the project, they are highlighting them, and also they think they have designed a project that balances many things.

Commissioner Chotvacs said that in this case, commissioners are pretty clear that they need to follow the design guidelines.

Commissioner Walker asked for average building height. Bavosi said about 62, allowable is 63 feet. By putting parking underground, what they have done is maximize height, and minimize the building footprints to preserve open space.

Lindh made design comment about how the height does step down towards the historic structures and the street in some areas.

Commissioner Chotvacs asked how the existing landscaping is affected by the project,

Bavosi said it is a significant goal to preserve many of these.

Commissioner Chotvacs asked about the other buildings that are going to be removed.

Lindh said some will be relocated and some will be demolished.

Commissioner Chotvacs voiced her thoughts on embodied energy.

Lindh said they hope to reuse some of the materials in their project.

**FINAL STAFF COMMENTS**

None

**FINAL APPLICANT COMMENTS**

None

**RECOMMENDED MOTION/FINDINGS**

Chotvacs reminded commissioners that they need to make recommendations based on Design Guidelines. But wanted to add that she thinks the applicants have done a great job trying to keep the historic structures in tact. However there are concerns with the mass and scale of the new construction.

**MOTION**

Commissioner TeStrake made a motion to recommend denial of the proposal based on the fact that it does not meet the Design Guidelines for new construction section 10.7 regarding mass and scale, and sections 9.6, 9.7 and 9.10 and does not meet the CDC section 26-133-D2a.

Commissioner Dressel seconded.

**DISCUSSION ON THE MOTION**

None

**VOTE**

Vote: (4/0)

Voting for approval of motion: Walker, TeStrake, Chotvacs, Dressel

Voting against approval of motion: None

Absent: Bunn



**STEAMBOAT SPRINGS PLANNING COMMISSION MINUTES  
JUNE 12, 2008**

The regular meeting of the Steamboat Springs Planning Commission was called to order at approximately 6:00p.m. on Thursday, June 12, 2008, in the Citizens' Meeting Room, Centennial Hall, 124 10th Street, Steamboat Springs, Colorado.

Planning Commission members in attendance were Chairperson Kathi Meyer, Cedar Beauregard, Dick Curtis, Karen Dixon, Tom Ernst, Sarah Fox, Rich Levy, and alternate Brian Hanlen.

Staff members present were Director of Planning & Community Development Tom Leeson, Senior Planner Jonathan Spence and Staff Assistant Tami Heskett.

**Rollingstone Village #PRE-08-03 Pre-Application review for mixed use development**  
**\*Tabled 5/08/08\***

**Disclosure:**

Commissioner Dixon-

I was in the employment of the representative of the applicant of Vertical Arts most recently. I will be stepping down.

Discussion on this agenda item started at approximately 6:12 p.m.

**STAFF PRESENTATION**

Jonathan Spence-

Explained that this is not a PUD request, but is a pre-application. He wants Commissioners to focus on the FAR and the waterbody setback and how they relate to these criteria.

**APPLICANT PRESENTATION**

Brian Bavosi-

Explained the background of the owners of the property and why they want to develop in this area. An overview of the surroundings to the property and the placement of the existing structures and vegetation were shown. The existing structures that are currently on the property as well as the majority of the mature vegetation will be preserved. He showed where the pedestrians would be channeled to in order to help preserve as much of the existing vegetation as possible. This area where they will be channeled will be used as a pedestrian amenity with a public spa and a restaurant. There will also be a connection to the Fish Creek Trail system with a bridge that will go over Fish Creek. The future proposed buildings and their orientation were also shown. These buildings were meant to act as a buffer to the site in exchange for the existing fence that will be removed.

## **COMMISSIONER QUESTIONS**

Commissioner Curtis-

Has anything been worked out yet in CHP and what's the status on that?

Jonathan Spence-

He explained what's going on with the CHP.

Commissioner Curtis-

Brian mentioned the issue of a trail along Fish Creek versus a non-trail system, which they have shown now with just a pedestrian bridge. The main access along Fish Creek would be along the trail that's along Sundance Plaza. Is staff in support of that or is that still open for discussion?

Jonathan Spence-

That is still open for discussion. It is up to the Parks and Rec. on whether or not they put a trail in or not.

Commissioner Curtis-

Has staff come up with any position on that?

Jonathan Spence-

I think that we would probably support their position on that.

Commissioner Curtis-

I wanted to go over where you are proposing the setbacks on page 9. Could you show us on the slide where you are proposing those setbacks to be on buildings F, A, and C?

Brian Bavosi-

He showed the Commissioners where the setback encroachment would be for each of these buildings. The dashed line on page 9 of the attachments shows where the setback encroachment is proposed to be.

Commissioner Curtis-

On the building above the access point between buildings B and C, what's the height and how many stories will that be?

Jonathan Spence-

Turn to page 13.

Commissioner Curtis-

It would be about 2 stories is that correct?

Brian Bavosi-

It would be about 3 stories where the top of that bridge would hit.

Commissioner Levy-

On page 9 you have the call-outs of both residential and commercial space. I would ask staff that your amenities space in Building D may not qualify for commercial space. Is that just an amenity for the residents?

Brian Bavosi-  
Building D would be a public amenity.

Commissioner Levy-  
It would be open to the public as a commercial use?

Brian Bavosi-  
A spa is considered a commercial use.

Commissioner Levy-  
Brian alluded to the Pinegrove commercial node, but actually this is not a commercial node this is part of the mixed-use corridor that is called out in the SSAP. The SSAP pointed to a goal of 50% residential and 50% commercial in all of the mixed-use corridors south of 3<sup>rd</sup> street. You talked about historic preservation on buildings D and E. Do these actually qualify as historic buildings and are some of the changes that you're proposing especially to building D something that the historic preservation would look at as being ok and would they continue to maintain their historic characteristics?

Brian Bavosi-  
Both of those buildings do meet the 50-year-old requirement for historic buildings. They have not seen the level of detail that we have come up with as of yet. He explained about the structural review of these historic buildings.

Commissioner Levy-  
You mentioned that either of the lines on here were actually a utility easement? Is that a complication on the side setback where the line actually shows an encroachment on a utility easement?

Jonathan Spence-  
That would have to fall under the FDP application review.

Jonathan Spence-  
One of their requests is for a traffic study and that may determine where the Rollingstone's access point actually will be.

Commissioner Fox-  
Is the fence you are planning to put along the river obtrusive? What do you propose for that and what would it look like?

Brian Bavosi-  
He explained what their thinking for the proposed fence was along Fish Creek.

Commissioner Fox-

You're required to put a fence up?

Brian Bavosi-

We are not required to put a fence up. He explained that they want to channel the pedestrian circulation across the creek instead of along their property in order to help preserve as much of the natural vegetation as possible.

Commissioner Fox-

Are you planning on doing anything with regards to any certification such as LEEDS certification for all of the buildings? If so what are you thinking and what direction are you going?

Brian Bavosi-

We have not completely narrowed those details down currently, but we will have more details in the future as we move along.

Commissioner Fox-

I'm confused about where the best places are to cross Pine Grove Rd. It seems like a dangerous road for pedestrians to cross. Are you proposing any crosswalks?

Brian Bavosi-

We can't propose crosswalks since there is no control section of road adjacent to this site. All we can do is give suggestions to the City.

Commissioner Fox-

It's one way out onto Rollingstone Dr. Do you see a problem with backed up traffic to get onto Pine Grove Road? It already seems like there is backed up traffic at times and if you're going to add this many buildings then it seems like it's going to be a huge problem.

Brian Bavosi-

We've had some existing traffic concerns and that is why we made a one-way in and one-way out access to Rollingstone Dr.

Commissioner Beauregard-

What is the difference in the dimensional standard that would be the waterbody setback for that one-way access onto Rollingstone proposed for, versus what the City would require? How would that affect Building C in addition to the waterbody setback?

Brian Bavosi-

Right now we are within that required setback.

Commissioner Meyer-

On page 9 of your site plan, since Building C is one of the buildings that encroaches, I'm not sure when you break out and you show bridge/amenity at 1,042 ft. If you could point out where and what that is.

Brian Bavosi-

That bridge/amenity is a mislabel. The bridge/amenity should be a residential component between Buildings B and C.

Commissioner Meyer-

I understand the sidewalks around the perimeter, but I'm not sure about the internal pedestrian connection.

Brian Bavosi-

He went over the internal pedestrian connection.

Commissioner Meyer-

The proposed new bus stop is a structure that is obviously going to be right on the road. That structure will be encroaching and it could potentially be in the right of way.

Brian Bavosi-

We aren't sure if that would be an encroachment or not and it would depend on the City's ownership. Our plan for the bus stop is to have it heated and for it to be used as a destination marker.

Commissioner Curtis-

Brian showed the slide of the waterbody setback showing Sundance Plaza as part of that building in the 50 foot setback. Was that grandfathered in?

Jonathan Spence-

That was constructed prior to the required setback.

Commissioner Curtis-

On pg. 10 I see that the property line is on the other side of Fish Creek so that would include Fish Creek. Is that correct?

Brian Bavosi-

That is correct.

Commissioner Curtis-

Regarding the floor area ratio at 0.75, would that encompass all of the buildings above grade that we are looking at on pg. 10?

Brian Bavosi-

That is all structures above finished grade.

Jonathan Spence-

Pg. 11 shows the perimeter of the underground parking spaces.

Commissioner Levy-

Since this is not a PUD the variances are straight up and down without public benefit. If the applicant chose, would a PUD be an option?

Jonathan Spence-

It depends on the number of variances. He explained how the PUD works and how that may affect the applicant if they went that route.

Commissioner Levy-

Regardless of the public benefit the waterbody setback is based on criteria only.

Jonathan Spence-

The code is very strict with waterbody setbacks.

Commissioner Hanlen-

Mt. Werner Water was requesting that the 5ft. along the Safeway setback was not sufficient, but they felt that 10 feet was sufficient. Is this number acceptable to staff?

Jonathan Spence-

He explained that they haven't looked into that yet, but according to the code they would say that is probably ok.

Commissioner Hanlen-

Since Safeway can't stay there forever does this setback allow for a redevelopment of Safeway if that were to ever occur?

Brian Bavosi-

That is something that we have looked into and we do feel that there is enough room there.

Commissioner Meyer-

When you made the comment about Sundance Plaza and the buildings that were built in the '60s prior to the ordinances going in place, my recollection was that when Sundance came through for a remodel several years ago, that was when the sidewalk along Fish Creek was put in and encouraged. Even though the buildings were there the sidewalks that were within the waterbody setback were put in as part of that redevelopment at that time.

Jonathan Spence-

That is correct.

## **PUBLIC COMMENTS**

None

## **FINAL APPLICANT COMMENTS**

Brian Bavosi-

He explained the need for the waterbody setback variance. There was some talk about the underground parking and its importance. The discussion items that are listed in the staff report were mentioned and he explained some of these items.

### **FINAL STAFF COMMENTS**

Jonathan Spence-

Staff is mostly concerned with the water body setback.

### **COMMISSIONER COMMENTS**

Commissioner Hanlen-

When looking at this site and looking at the future land use plan along Pine Grove and ignoring the rest of the site, I think that we need to see density in this form along Pine Grove. I think that one of the things encouraging the high rate of travel is the massive setbacks of all of the buildings on Pine Grove. Pulling the buildings tight to the road and providing that type of density along the road will slow down the traffic speeds and this would allow retail to reach some of this area. I would support the density without the desire to go for the open space. It seems like a disagreement as far as the waterbody setback is concerned. I would not have an opinion at this point concerning the waterbody setback. The side setback, 5ft. seems really tight. I would prefer to see the 10ft.

Commissioner Beauregard-

I was really encouraged with the lot coverage versus FAR. A 50% ratio seems like just another Safeway where you have half the lot coverage with a single floor. As far as having FAR and having half the lot coverage, I think that it easily offsets the variance. Having been there and seeing the really old buildings being preserved, I don't think that should be taken lightly. I think that's a bargaining chip that you're giving away. If we weren't doing that then I think that you could come in and leverage us for something. I understand where Jonathan is going, but I don't understand how to make a judgment on that. If you ignore the more strict requirements then I would try and offset that one. I would rather not see the waterbody setback on Building C. If you take the same FAR and put it all on one floor then that is something that I would not like to see either. One thing that I would like to see is open park with no fence. In the plan there is really no access point from the bridge to that park. I don't see any pedestrian access into that park at all. In the back of Building C there is a private walk. I think that would more easily be used for more open space and still be private and exclusive. In some of the renderings you have some of the mature trees over underground parking. I think that is a little optimistic. I would rather save the fish rather than the trees since fish have been lost in places like Breckenridge because of the spraying for beetles. I would rather see dead trees than poisoned rivers.

Commissioner Curtis-

Regarding the waterbody setback I agree with staff, but I could be convinced to agree with the applicant. If the applicant could give me a little bit of time to think about this I could swing either way. The reduced property setbacks I think are justified. The FAR I think is a perfect example of site design of the whole density issue that we need to talk about. If you look at the lot coverage and FAR it's really a perfect mix. If you look at the

site plan on pg. 10 it's wonderful. We have a combination of open space and building density. To me that's Steamboat Springs. This is a wonderful example of density and open space at the same time and that's what Steamboat Springs really is. I would like everyone to think about that, because it is extremely important. I don't know if the applicant is planning any kind of a model study or 3-D model study that might help for the next phase of development in the FDP and the DP. The overall site design is really a unique design. I commend the applicant and the designer for trying to preserve this gem of a parcel in our city limits here. I think that the only concern I have is the pedestrian connectivity. What I'm seeing is that we have a lot of access points, but these access points aside from the bridge going over Fish Creek from Sundance is really off the roads. It seems as if we need some more walkway pedestrian access maybe on the north side of Building C. I still have a little bit of mixed feelings about a continuous trail along Fish Creek. Why I have those mixed feelings is that I'm concerned about trail connectivity, which we do not have in Steamboat Springs. We have a lot of trails, but they are not necessarily connected. Once you're inside then there is connectivity, but getting there is another story. Regarding the architecture it's a little too early to tell, but from your sketches it looks real good. It's extremely important in this day and age, green building is the color of construction today.

Commissioner Levy-

On the waterbody setback I'm going to agree with staff. The reason for the 50ft. setback was mainly to protect the water quality. When you consider that they're planning on putting in an underground parking lot into this setback, that's going to be a major disturbance so close to the water. Originally I had no problem with the side setback. When Brian brought up where the eaves would be, I'm now concerned about snow shed. Other than that I really don't have a problem with the side setback. I agree with what everybody else has said regarding FAR. This is the place for density. This area is supposed to have intensification of land uses. I agree with everything that has been said regarding the overall project design. Pine Grove is supposed to be a pedestrian area. I see more continuation of this fence with this building design and I don't see anything drawing people into this interior space. To me this open space is going to be a private park. This was called out as a mixed-use corridor and the goal is 50% commercial and 50% residential. I would like to see it reaching more towards that 50/50 split.

Commissioner Ernst-

I think that the overall design is wonderful. I can't get from here to there at all so I think that you really need to work on the pedestrian connectivity. I think that driving down this road and seeing buildings up against the road is great. It will slow people down. The down side is that you can't get easily inside this development. You can't see any of the views on the inside of this development from the road. If you could see a little bit of this park and maybe even the river, that would be great. If you could angle the buildings just a little bit so that there is some way of getting in there it would be better. I think that the FAR is just fine. You really don't have a lot of open space on this lot so putting parking below certainly helps with that. The property setbacks I don't have a problem with. The waterbody setback is a concern of mine. I think that if we can just get people to be able to go through here then I think that this will really be great.



Commissioner Fox-

I think the project is really good. I like the fact that we're trying to preserve some trees. I also like how you're planning to preserve these historical structures. I would like to see them in as much of their original form as possible and not completely retrofitted. As far as the waterbody setback goes I would agree with staff, because I believe that they were put in place for a reason. I would also agree with the FAR. We don't want to reduce the open space. I think that density is really good there and I think that it's a really good location for that. The reduced property setbacks I'm not opposed to. I would like you to explore more options where the bridge connects to Sundance. It comes out right at the dumpster enclosure. That makes it not quite as open to pedestrian traffic. I like the fact that you're willing to consider making your buildings green. Maybe for the whole development you could use reusable energy, geothermal, etc., which seems to go right in line with your visions for this development.

Commissioner Meyer-

When I looked at the standards of 50% lot coverage and 50% FAR it's pretty clear to me that this would encourage a development of a single story building. That's not what we want. The applicant is proposing lower lot coverage, but a higher FAR. That's a reasonable tradeoff and it goes back to density. Somebody else could come in and put a building in that's 50% lot coverage and that would be allowed. I'm very supportive of the tradeoff with the FAR. There's a reason for the reduced property setbacks and it really does appear that 5 ft. is an awful lot. Pedestrian circulation and connection not only internal to the site, but as it relates to the adjacent properties. There is an anticipation that Safeway might redevelop at some point down the road. We need to make sure that we have adequate pedestrian connections. I'm concerned that we need additional pedestrian connections internal and with existing properties. The vehicle traffic study is going to tell us a lot about the access point onto Rollingstone Dr. I do have a concern, because there has been additional development in that area and there is a lot of traffic backing up on Rollingstone Dr. I don't have any suggestions to what any of the choices might be down the road. My recollection with the CP and why we encouraged that zone district to go to 50% commercial and 50% residential was because we saw commercial projects coming in with 100%. That 50% was a goal to encourage more residential. We've encouraged public access to different water sources. There is a concern about water quality. My feeling is that we should allow some encroachment into the water as long as I can be convinced that it is the only option. I would be willing to allow a minimum amount of encroachment of no more than 30 feet. We want people to enjoy the river. After reading the staff's analysis, there is clearly an argument and it will go into an interpretation of whether this is as black and white as the report or on the issues as the applicant says. Given the overall site design I would be willing to make a finding to allow some encroachment in the waterbody setback.

Commissioner Ernst-

We are getting closer to the river at Building C, but then we have open space right next to the river. We could have it worse by having a building going all along the river.

Jonathan Spence-

If you really want to go there we would have to change the code.

Commissioner Meyer-

We don't really have a zoning that would allow this kind of development.

Jonathan Spence-

50ft. is what's in the zoning right now.

Commissioner Meyer-

We have approved other buildings with waterbody variances.

Jonathan Spence-

It would give a better project if we were to change the code.

Commissioner Hanlen-

Maybe we could have an average from 30 to 100ft. range instead of a minimum of 30ft.

Commissioner Meyer-

This is going to go as a pre-app to City Council on the same issues and they will get our minutes. Is that correct?

Jonathan Spence-

Yes.

Discussion on this agenda item concluded at approximately 7:45p.m.

**DIRECTOR'S REPORT**

None

**ADJOURNMENT**

Commissioner Levy moved to adjourn the meeting at approximately 7:45 p.m.  
Commissioner Fox seconded the motion.

**VOTE**

Vote: 8-0

Voting for approval of motion to adjourn: Meyer, Beauregard, Curtis, Dixon, Ernst, Fox, Levy and Hanlen.

**PUBLIC HEARING – PLANNING COMMISSION REFERRALS**

**7. PROJECT: Rollingstone Village**

PETITION: Pre-application review for a mixed use development.

Mr. Spence, City Planner, was present and noted both staff and the Planning Commission generally supported the project. He noted that the Planning Commission discussed the waterbody setback, reduced property setbacks, floor area ratio (FAR), and overall project design.

City Council President Pro-Tem Hermacinski questioned the process for the waterbody setback variance and the 50 foot classification.

Discussion commenced on the 50 foot waterbody setback requirement.

Council Member Ivancie voiced concern with density along the riverbank and underground parking garages. He would like to see water monitoring in place.

City Council President Antonucci noted that there is a cabin within the 50 foot setback. Spence noted that the criteria are different because it is a historic structure.

Mr. Brian Bavosi, Vertical Arts, provided a PowerPoint presentation highlighting the following: site aerial; site panoramas; existing conditions; historic preservation; natural preservation; site trees; site analysis; site plan; landscape plan; birdseye southeast; historic renovation; circulation; public easement/access; east on Pine Grove Road; conceptual bus stop; Pine Grove Road and Rollingstone Drive; internal circulation; passive recreation; and shadow study.

Discussion took place relative, but not limited to: historical flooding on the site; and soils testing.

**PUBLIC COMMENT:**

Ms. Christine McKelvie voiced concern with possible gridlock on Pine Grove Road, and with the possibility of losing the Safeway grocery store.

City Council President Pro-Tem Hermacinski is okay with the FAR; feels the setbacks from lot lines are okay; and feels that the waterbody setback has to balance water quality with public access to water. She would probably be willing to consider changing the Code to allow it if the applicant can show that water quality will not be impacted.

**STEAMBOAT SPRINGS CITY COUNCIL MINUTES  
REGULAR MEETING 2008-19  
July 1, 2008**

Council Member Quinn would like more information about where the 50 foot mark came from.

Mr. Eastman stated that he was involved with this process, and it was a series of discussions of compromises. Studies showed that 50 feet provides a buffer so that human pollution will be absorbed and not put into the waterways. There was discussion of preserving riparian corridors and preserving green space, with lots of community input.

City Council President Antonucci asked about the applicants comment that the Community Plan allowed these to be looked at on a case by case basis. Mr. Eastman clarified that that language pertains to expanding the waterbody setback.

Council Member Quinn does not support the variance as written based on that.

Council Member Myller stated that he is willing to maintain the 50 foot waterbody setback. He is okay with the property setbacks and FAR, and feels the project design is good.

Council Member Ivancie is okay with the FAR, however is concerned with how the density is aligned on the lot. He is not in favor of the 5 foot setback, and supports enforcing the 50 foot waterbody setback.

City Council President Antonucci feels this is a well designed project; is okay with the FAR; is okay with the property setback, maybe decreasing a little bit; and is concerned with the waterbody setback due to water quality.

Council Member Ivancie asked City Council if they are proposing changing the Code to relax the waterbody setbacks. City Council President Pro-Tem Hermacinski stated that she would like answers to questions regarding where the 50 foot number came from.

Council Member Myller stated that the 50 foot number feels appropriate to him.

Council Member Ivancie agrees, and is not in favor of changing the Code.

Council Member Quinn agrees and is not interested in revisiting the Code.

**8. PROJECT: Retail Study Presentation.**

Mr. McMillan introduced Mr. Brian Duffey of Economic and Planning Systems.