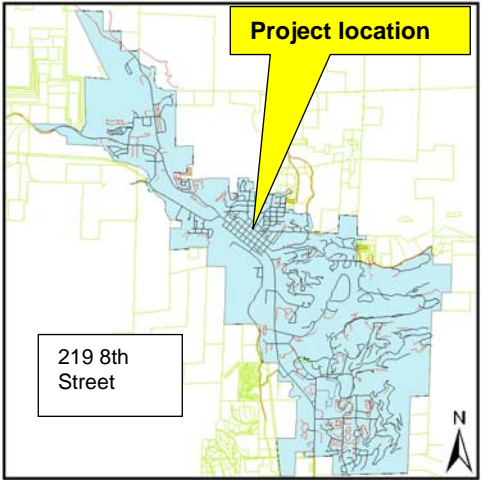


**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
STAFF REPORT**

PLANNING COMMISSION AGENDA ITEM # 3	
Project Name:	Tread of Pioneers Museum – Collection Building Addition (Original Town of Steamboat Springs, Blk 8, Lot 11-12) #DPF-11-02
Prepared By:	Seth Lorson, AICP, City Planner (Ext. 280)
Through:	Tyler Gibbs, AIA, Planning Director (Ext. 244)
Planning Commission (PC):	December 8, 2011
City Council (CC):	December 20, 2011
Zoning:	Commercial Neighborhood (CN)
Applicant:	Tread of Pioneers Museum PO Box 772372 Steamboat Springs, CO 80477 (970) 879 - 2214
Request:	A Development Plan/Final Development (PUD) Plan for the addition of a 3,215 S.F. collection building, plus a 1260 S.F. basement.



Development Statistics - Overview	
Lot Area:	13,939 square feet
Gross Floor Area:	8,681 square feet
Lot Coverage:	5,656 square feet or .41
Floor Area Ratio:	0.62 - Variance
Setbacks	
Front (double):	4 feet - Variance
Side:	5 feet - Variance
Back:	38 feet
Parking Spaces:	4 parking spaces -Variance
Building Height:	
Overall Height:	31'3"
Average Plate Height:	18'8"

Staff Report - Table of Contents		
Section		Pg
I.	CDC –Staff Analysis Summary	3-2
II.	Background	3-3
III	Project Description	3-3
IV	Principle Discussion Items	3-3
V	Overview of Dimensional & Development Standards	3-3
VI	Project Analysis	3-5
VII	PUD Analysis	3-8
VII	Community Housing Plan	3-10
VIII	Staff Findings & Conditions	3-10
IX	Attachments	3-10

I. COMMUNITY DEVELOPMENT CODE (CDC) – STAFF ANALYSIS SUMMARY

CDC - SECTION 26-65(D): *No FINAL DEVELOPMENT PLAN SHALL BE APPROVED UNLESS THE PLANNING COMMISSION AND CITY COUNCIL FIND THAT THE PLAN MEETS ALL OF THE FOLLOWING CRITERIA:*

Subsection		Consistent			Notes
		Yes	No	NA	
1)	Conformity with Community Plan	<input checked="" type="checkbox"/>			
2)	Consistency with Surrounding Uses	<input checked="" type="checkbox"/>			
3)	Minimize Adverse Impacts	<input checked="" type="checkbox"/>			
4)	Access	<input checked="" type="checkbox"/>			
5)	Minimize Environmental Impacts	<input checked="" type="checkbox"/>			
6)	Phasing			<input checked="" type="checkbox"/>	To be developed in one phase.
7)	Compliance With Other Standards	<input checked="" type="checkbox"/>			
8)	Variance Criteria	<input checked="" type="checkbox"/>			Please see variance criteria

Staff Finding: Staff finds that the proposed Tread of Pioneers Collections Building is consistent with the criteria for approval per CDC Sec. 26-65 and Sec. 26-81. Please see Staff Findings and Conditions at the end of this report for conditions of approval and approval options.



II. BACKGROUND

The Tread of Pioneers Museum proposes to demolish the existing building and construct a new collections building and addition to museum display space. This project, as a Pre-Application was heard by Historic Preservation Commission on September 14, 2011, Planning Commission on September 22, 2011, and City Council on October 18, 2011. Historic Preservation Commission voted to approve the demolition of the existing collections building. No vote was taken at Planning Commission or City Council and no issues arose.

The Tread of Pioneers Museum consists of two former single-family houses (now connected) that were moved to the site (Utterback and Zimmerman houses) and the existing collections building, the only original structure on the site. The Zimmerman House was moved to the site in 1997 and processed as a Regular Development permit. The existing collections building is estimated to be constructed in 1900. Please see Historic Preservation Commission staff report for further background.

III. PROJECT DESCRIPTION

The proposed project is a 3,215 square foot addition to the existing 5,466 square foot museum creating a total of 8,681 square feet. The proposed addition's main area is a structure with two stories and a basement (collections building) that connects to the Zimmerman house via a 500 square foot addition to the exhibit space. With the demolition of the existing 1,380 square foot collections building the net increase in square footage is 1,835. The existing snow cat display case will be relocated to front the new exhibit space.

IV. PRINCIPAL DISCUSSION ITEMS

CN DESIGN STANDARDS

The proposed project is subject to the Commercial Neighborhood Design Standards (CDC Sec. 26-135). The City of Steamboat Springs Historic Preservation Planner finds that the proposal is consistent with the below standards (See Attachment 3 – HPC Staff Report):

(c) *Design standards.*

- (1) *Respect the traditional settlement patterns of the Oak Street area.* Site a new building in a way similar to traditional buildings in the area. This includes consideration of building setbacks, entry orientation, and open space.
- (2) *Orient a new building parallel to its lot lines, similar to that of traditional building orientations.* The front of a primary structure shall be oriented to the street.
- (3) *Orient a primary entrance toward the street.* Buildings shall have a clearly defined primary entrance. For a residential style building, this shall be a front porch, portico, or stoop. Do not orient a primary entrance to an interior court. Providing a secondary public entrance from the side and/or rear is also encouraged on larger buildings.
- (4) *Front setback.* Keep the front setback of a new structure in line with the range of

- residential buildings seen traditionally.
- (5) *Side setbacks.* Maintain similar side yard setbacks of a new structure or an addition to those seen traditionally along the street.
 - (6) *Retain the character of the alley as a part of the original town grid.* Maintain the alley as an open space. Alleys may also be used as pedestrian ways.
 - (7) *Maintain the traditional material and position of sidewalks.* Historically, sidewalks were detached from the curb, and separated by a planting strip.
 - (8) *Pedestrian walk.* Provide a walk to the primary building entry from the public right-of-way.
 - (9) *Develop outdoor open space that promotes pedestrian activity.* Courtyards shall be accessible and visible from the public way and be designed for public uses. The development of a first and second floor rooftop deck is encouraged. A sunken plaza on the street side is inappropriate.
 - (10) *Maintain the average perceived building scale from the public right-of-way.* Floor-to-floor heights shall appear similar to those seen traditionally. First floor heights measured from floor plate to floor plate were typically eight (8) to ten (10) feet high. In particular, the windows in new construction shall appear similar in height and proportion to those seen traditionally.
 - (11) *Divide larger buildings into "modules" that maintain traditional residential building scale.* Divide the building into "modules" that express traditional single-family house dimensions. A typical building "module" shall not exceed forty (40) feet in width. The building "module" should be expressed with at least one of the following:
 - a. A setback in wall planes, a minimum of twelve (12) feet.
 - b. A change in primary facade material for the extent of the building "module".
 - c. The division into "modules" should be expressed three-dimensionally by providing a change in roofline that is consistent with the change in wall planes.
 - (12) *Along the rear facade, using buildings forms that step down in scale toward the alley is encouraged on the north side of Oak Street.* Step down the principal structure to one-story height in order to reduce the perceived scale. Use projecting roofs at the ground floor over entrances, decks, and for separate utility structures in order to establish a human scale that invites pedestrian activity.
 - (13) *Use sloping roof forms that are similar to those used traditionally.* Use gable, hip or shed roof forms on the primary building form. Flat roofs may be provided on secondary building elements.
 - (14) *Develop alley facades to create visual interest.* Use varied building setbacks and changes in materials to create interest and reduce perceived scale. Balconies, courtyards and decks are also encouraged. Providing secondary public entrances is strongly encouraged along alleys. These shall be covered or protected and clearly intended for public use, but subordinate in detail to the primary entrance that faces the street.
 - (15) *Use building materials that are similar to those used traditionally.* Appropriate materials are painted wood clapboard, brick, stone and stucco. New products that convey a scale, finish and character similar to traditional materials may be

considered. A large featureless surface or panelized products that lack a sense of scale are prohibited.

- (16) *Use roofing materials that are similar in appearance to those seen traditionally.* Standing seam metal roof materials are appropriate for most buildings. They should be earth tones and have a matte, non-reflective finish. Seams should be low profile. Composition or concrete shingle is also appropriate.
- (17) *Preservation of existing porches and primary entrances.* When converting a building to another use, preserve the traditional location and character of the porch and primary entrance.
- (18) *The use of a front porch shall be strongly encouraged and shall appear similar to those seen traditionally.* The porch floor and roof height shall appear similar to those seen traditionally on the block. Use similar building design elements and materials as those seen traditionally.
- (19) *The front porch shall be "functional", in that it is used as a means of access to the entry.* A front porch shall be covered by a roof.
- (20) *The use of an awning may be considered.* Avoid exotic forms that are not traditionally found in the commercial core area of city. Coordinate the color of the awning with the color scheme of the entire building. Operable fabric awnings are appropriate. Installing lighting in awnings so they effectively act as an internally lit sign is inappropriate.
- (21) *Preserve historically significant alley structures when feasible.* Incentives for preservation may be available. Consult with the city's historic preservation specialist.
- (22) *Locate a new accessory structure in a manner that is similar to those seen traditionally in the district.* Place it along the alley edge or to the rear of the primary structure.

VARIANCES

The proposed project has 4 variances: front setback (8th Street), side setback (alley), F.A.R., and parking. Please see Section VI: Project Analysis for variance criteria and analysis.

HISTORIC PRESERVATION

The project proposes to demolish an existing historically relevant structure that is eligible for the historic register. Historic Preservation Staff's recommendation to rehabilitate the existing structure as an alternative to demolition was not accepted by Historic Preservation Commission whom voted to approve the demolition of the existing structure.

V. OVERVIEW OF DIMENSIONAL AND DEVELOPMENT STANDARDS – CN ZONE

The following list was compiled by the project planner to provide an overview of key standards applicable to the project. Items in **bold** in the proposed column do not comply with applicable standards; refer to Project Analysis section for additional information. Interested parties are encouraged to review the Community Development Code (CDC) or contact the project planner for a comprehensive list of all applicable standards.

DIMENSIONAL STANDARDS – CDC Section 26-132			
Standard	Maximum	Minimum	Proposed
<i>Lot Area</i>	14,000	3,000	13,939 S.F.
<i>Lot Coverage</i>	.50	None	0.41
<i>Units per Lot</i>	Determined per FAR	None	No units are proposed
<i>Floor Area Ratio (FAR)</i>	.50	None	0.62
<i>Building Height</i> (APH) Average Plate Height and (OH) Overall Height	APH-20 ft. OH-32 ft.	None None	APH – 18’7” OH - 32’
Setbacks			
<i>Front (Oak)</i>	30’	P – 10’	87’
<i>Rear</i>	None	10’	38’
<i>Front (8th Street)</i>	None	10’	4’
<i>Side (alley)</i>	None	10’	5’

DEVELOPMENT STANDARDS		
Standard	Requirement	Proposed
<i>Parking and Loading Design Standards (Sec. 26-137).</i>	Retail (1 space/900 square feet) Net increase in S.F.: 1,640 / 900 = 1.8 parking spaces required.	0 added to the existing 4
<i>Landscaping Standards (Sec. 26-135)</i>	Landscape to the moderate category: Buffer (1/400sf): 2 required (400/2095 = 6 – 4 existing; Interior (1/500sf): 2 required (500/3995 = 8 – 6 existing.	4 trees; 2 interior, 2 buffer

VI. PROJECT ANALYSIS

A) CRITERIA FOR APPROVAL

CDC - Section 26-65(d): No Development Plan shall be approved unless the planning commission and city council find that the plan meets all of the following criteria:

The following section provides staff analysis of the application as it relates to key sections of the CDC. It is intended to highlight those areas that may be of interest or concern to planning commission, city council, staff or the public. For a comprehensive list of standards and requirements applicable to this proposal please refer to the CDC or contact the staff planner.

CDC - Section 26-65(d)(1): Conformity with Community Plan

Staff Analysis: **Consistent.** Below are sections of the Community Plan that are relevant to the proposed project. Although the project proposes to demolish a historic building it will still have a net benefit to preserving cultural heritage. The existing building is not adequate for the Tread of Pioneers museum to preserve the artifacts in its collection.

- **Historic Preservation Vision:**

Steamboat Springs is a proactive preservation community with regard to lands, waters, structures, and cultural heritage. We have implemented the appropriate tools to ensure such preservation in perpetuity, inventoried all known properties, and taken necessary steps to compile, preserve, and disseminate information regarding our history.

- **Goal HP-2:** Our community will enhance historic preservation education, awareness, and outreach.

- *Rationale:*

It is important to raise public awareness about the benefits of preservation of historic buildings, sites, structures and cultural landscapes. This education is critical to garner public support for historic preservation; without public awareness historic preservation efforts tend to fail.

Broad educational outreach is necessary to foster understanding of, and support for, a community's history and historic resources. Outreach should include property owners, community organizations, school groups, business associations, neighborhood residents, tourists, city and county planners, and others, such as Historic Routt County!, the Tread of Pioneers Museum, and the city. With the wide-reaching existing network of preservation organizations, the basic structure needed for enhanced education, awareness and outreach is already in place.

- **Strategy HP-2.4(b): Increase Role of Tread of Pioneers Museum**– The Tread of Pioneers Museum is well-suited to the dissemination of information on the topic of historic preservation, specifically through its museum store, and its ability to co-sponsor educational speakers and seminars with preservation agencies and organizations in the community. The museum store is an excellent, accessible venue for the display and sale of preservation publications of interest and assistance to the public. In addition to selling books, the store could serve as a source of free brochures and publications acquired from Historic Routt County!, the City of Steamboat Springs, the Colorado Historical Society, National Park Service, National Trust for Historic

Preservation, Barn Again!, and other organizations that provide information about historic preservation and related technical issues. The museum has already co-sponsored a lecture series on the topic of historic preservation with Historic Routt County! and from time to time will continue to offer this type of programming for the benefit of the community. The Tread of Pioneers Museum will offer the public a local source for obtaining published materials and occasional lectures and seminars on the topic with the assistance of other area preservation organizations.

CDC – Section 26-65(d)(2): Consistency with Surrounding Uses.

Staff Analysis: **Consistent.** The museum use is institutional in nature. The CN zone district along Oak Street is a mix of uses including religious institutions, school, commercial, and residential.

CDC – Section 26-65(d)(3) Minimize Adverse Impacts.

Staff Analysis: **Consistent.** The proposal is consistent with the CN design standards. The CN design standards provide for residential scale development that will be compatible with the surrounding neighborhood. The use is not proposed to change from a museum with limited hours of operation.

CDC – Section 26-65(d)(4) Access.

Staff Analysis: **Consistent.** Access has not changed with this application.

CDC – Section 26-65(d)(5) Minimize Environmental Impacts.

Staff Analysis: **Consistent.** The information provided does not indicate significant environmental impacts.

CDC – Section 26-65 (d)(6) Phasing.

Staff Analysis: N/A

CDC – Section 26-65 (d)(7) Compliance With Other Standards.

Staff Analysis: **Consistent.** The proposal is consistent with the CN design standards and four variances are requested.

CDC – Section 26-65 (d)(8) Variance criteria.

Staff Analysis: Four variances to the CDC development standards are proposed and therefore requires a PUD for development approval. The section below addresses the Development Plan variance criteria in CDC Sec. 26-65 (d)(8) and the PUD criteria for review of particular types of variations in CDC Sec. 26-81 (g):

B) VARIANCES: The applicant addresses the above-mentioned variances in Attachment 2 – Project Narrative. The proposed variances have been heard by Planning Commission and City Council as a Pre-Application and, although no vote was taken on the project approval, no significant problems were brought up regarding the requests.

1. Front Setback (8th Street):

This lot borders two public streets and therefore has a double front setback along Oak Street and 8th Street. The Director has the ability to determine that only one street is the front setback with consideration of line of site requirements, driveway location, pedestrian entrance, building height, traffic/pedestrian safety, and character and compatibility with the neighborhood (Sec. 26-146). Although the CN zone district has a 10' setback for the front and side setbacks, the existing accessory structure (snow cat display case) along 8th Street is placed five feet from the property line which is consistent with the accessory structure side setback. The main area of the proposed addition (collection building) is placed at the 10 foot front setback line with a porch that encroaches six feet into the setback.

CDC – Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** Staff Analysis: **Consistent.** No change of use is proposed.
- b. **Injury to Adjoining Property Mitigated:** Staff Analysis: **Consistent.** The proposed front setback is five feet and four feet from the property line at different portions of the addition. The existing accessory structure is five feet from the property line and the existing collection building does not encroach on the setback. The proposal is consistent with the CN design standards. The CN design standards provide for residential scale development that will be compatible with the surrounding neighborhood.
- c. **Advantages Outweigh Disadvantages:** Staff Analysis: **Consistent.** The proposed building is to provide a controlled environment to store collections that are not being displayed, without which the historic artifacts could be compromised. The building is sited so that it spans from the parking in the rear to the encroaching area in the front. The snow cat display case encroaches into the setback for prominent display of the snow cat.
- d. **Superior Development:** Staff Analysis: **Consistent.** The proposed addition conforms to the CN design standards. The CN design standards provide for residential scale development that will be compatible with the surrounding neighborhood. The proposed building will allow the museum to grow its collection of artifacts in a controlled environment so they will be available for future generations to benefit from. Below is the purpose and intent of the CN zone district:

Purpose and intent. The commercial neighborhood zone district is designed and intended to provide mixed-use areas for low intensity commercial, limited retail, and residential dwelling units. Uses and structures in this area shall generally be of a smaller scale, pedestrian and neighborhood oriented, and provide services for the local population. Along Oak Street, adaptive re-use of older residential buildings is encouraged in order to preserve the residential scale. The preservation and enhancement of the street tree canopy is encouraged through the addition of new street trees and preservation of existing mature trees. While locating uses along Oak Street, consideration should be given to placing higher scale and intensity uses on the south side of the street and lower scale and intensity uses along the north side of the street. Through considerations such as intensity and scale,

an emphasis shall be placed on providing appropriate transition areas and pedestrian connections into and from neighboring uses.

- e. **Minimum Relief:** *Staff Analysis:* **Consistent.** The addition is sited to meet the design program and allow for the existing parking in the rear to be maintained.

CDC – Section 26-81 PUD (g)(2) Criteria for review of setback variations.

- a. **Emergency vehicle access:** *Staff Analysis:* **Consistent.** The access has not changed with this proposal.
- b. **Environmental sensitivity and land use compatibility:** *Staff Analysis:* **Consistent.** The information provided does not indicate significant environmental impacts. The proposed addition is oriented toward 8th Street as many of the buildings in the CN zone district are oriented to the side streets.
- c. **Light, air, and solar access:** *Staff Analysis:* **Consistent.** The proposed addition is for a climate controlled environment to store museum collections. Adequate light, air, and solar access to the building are not applicable to this project.
- d. **Waterbody setbacks:** *Staff Analysis:* **N/A**

2. Side Setback (Alley):

The side setback in the CN zone district is ten feet (10') and the project proposes a five foot (5') side setback along the alley.

CDC – Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** *Staff Analysis:* **Consistent.** No change of use is proposed.
- b. **Injury to Adjoining Property Mitigated:** *Staff Analysis:* **Consistent.** The existing collections building encroaches nine feet into the side setback. The proposed building encroaches five feet with a three foot eave overhang. The proposed roof has been fitted with asphalt shingles and snow fences to avoid snow shedding into the alley.
- c. **Advantages Outweigh Disadvantages:** *Staff Analysis:* **Consistent.** The proposed building is to provide a controlled environment to store collections that are not being displayed. The building is sited so that it spans from the parking in the rear to the encroaching area in the front.
- d. **Superior Development:** *Staff Analysis:* **Consistent.** The proposed addition conforms to the CN design standards. The CN design standards provide for residential scale development that will be compatible with the surrounding neighborhood. The proposed building will allow the museum to grow its collection

of artifacts in a controlled environment so they will be available for future generations to benefit from.

e. **Minimum Relief:** *Staff Analysis:* **Consistent.** The addition is sited to meet the design program and allow for the existing parking in the rear to be maintained.

CDC – Section 26-81 PUD (g)(2) Criteria for review of setback variations.

a. **Emergency vehicle access:** *Staff Analysis:* **Consistent.** The access has not changed with this proposal.

b. **Environmental sensitivity and land use compatibility:** *Staff Analysis:* **Consistent.** The information provided does not indicate significant environmental impacts.

f. **Light, air, and solar access:** *Staff Analysis:* **Consistent.** The proposed addition is for a climate controlled environment to store museum collections. Adequate light, air, and solar access to the building are not applicable to this project.

a. **Waterbody setbacks:** *Staff Analysis:* **N/A**

3. Floor Area Ratio (FAR):

The CN zone district has a maximum FAR standard of 50%; the project proposes FAR of 62% or 8,681 s.f. of total floor area on a 13,939 s.f. lot.

CDC – Section 26-65 (d)(8) Variance Criteria

a. **Legal Use:** *Staff Analysis:* **Consistent.** No change of use is proposed.

b. **Injury to Adjoining Property Mitigated:** *Staff Analysis:* **Consistent.** The additional floor area is to accommodate “unencumbered areas for flexible storage options and work spaces.” None of the additional floor area sits directly adjacent to adjacent property. The proposed building will allow the museum to grow its collection of artifacts in a controlled environment so they will be available for future generations to benefit from.

c. **Advantages Outweigh Disadvantages:** *Staff Analysis:* **Consistent.** The additional floor area provides for the needs of the museum for storage of their collections that the existing building cannot provide.

d. **Superior Development:** *Staff Analysis:* **Consistent.** The proposed addition, although exceeds the allowable floor area ratio, maintains a residential scale of development as required in the CN zone district design standards.

e. **Minimum Relief:** *Staff Analysis:* **Consistent.** The proposed addition meets the design program for the museum.

4. Parking:

In 1997, when the Zimmerman House was moved to the site, a parking variance was granted to allow 6 parking spaces at a reduced size of 9 feet in width. The Tread of Pioneers Museum currently has 4 parking spaces on site. The net increase in square footage for the proposed addition is 1,640 S.F. The parking requirement is being analyzed using the requirement for retail use (1 parking space per 900 square feet). Requiring a total of 2 parking spaces ($1,640 / 900 = 1.8$). The development is proposing no additional parking spaces.

CDC – Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** *Staff Analysis:* **Consistent.** No change of use is proposed.
- b. **Injury to Adjoining Property Mitigated:** *Staff Analysis:* **Consistent.** The museum is proposing a 500 S.F. addition to the gallery space, the rest is storage that will not generate additional parking needs. Additional traffic is not anticipated as a result of this project.
- c. **Advantages Outweigh Disadvantages:** *Staff Analysis:* **Consistent.** By not providing additional parking, the proposal is not creating additional impermeable surface or need for additional snow storage and allows for the development of a needed collections building.
- d. **Superior Development:** *Staff Analysis:* **Consistent.** Additional parking could take from the residential feel of the property as intended in the CN zone district. Additionally, the museum is in a pedestrian area served by sidewalks and one block from downtown which is served by frequent bus service.
- e. **Minimum Relief:** *Staff Analysis:* **Consistent.** The property has no extra space on site for additional parking.

CDC – Section 26-81 PUD (g)(3) Criteria for review of parking standard variations.

- a. **Transit-oriented design:** *Staff Analysis:* **Consistent.** The Yellow Line serves this property and Lincoln Avenue is one block away which has multiple transit stops for the main service lines for Steamboat Springs Transit.

VII. PUD ANALYSIS

Pursuant to Sec. 26-65(b)(4) of the Community Development Code (CDC), applications for a variation from more than two (2) Dimensional, Development, or more than four (4) Subdivision standards shall be processed as a Planned Unit Development (PUD).

The PUD process is intended to allow variations as a means of providing flexibility, allowing creativity and preserving features valued by the community. However, the requirement of the PUD process is that the extent of the variances requested shall have a direct and proportional relationship to the magnitude of the benefit that is received by the community at large or to the users of the project. The categories of benefits and public purposes are specified in the Sec. 26-81(e).

B) CDC Section 26-81(e)(4) Contributions to public benefits and improvements.

If three (3) to four (4) variances are approved, the applicant shall provide at least one of the following benefits:

- d. *Contributions to preserve or enhance cultural and historical resources or public spaces.* The proposed development will accomplish preservation or enhancement of cultural and historical resources or public spaces by a contribution equal to or greater than one percent of the project's land and construction cost valuation as determined by the Routt County Building Department.

Staff Analysis: **Consistent.** The proposed development is solely for the purpose of preservation of the cultural and historic resources of our community. Therefore, one-hundred percent of the proposed development's construction cost valuation is being contributed to this benefit.

C) CDC Section 26-81(f) Criteria for review of all PUDs.

All PUDs shall comply with the following criteria. If the PUD proposes variations from standards of this Code, then the PUD shall also comply with the applicable criteria for review of particular types of variations stated in subsection (g) [detailed in variance section above].

1. **Criteria for review and approval:** Staff Analysis: **Consistent.** See analysis above.
2. **Advantages outweigh disadvantages:** Staff Analysis: **Consistent.** The additional floor area provides for the needs of the museum for storage of their collections that the existing building cannot provide. This directly contributes to the preservation of the cultural and historic resources of our community.
3. **Legal Instrument Required:** Staff Analysis: **Not applicable.**

VI. COMMUNITY HOUSING PLAN

CDC Section 26-148: Community Housing Plan. Staff Analysis: **Not Applicable.** The proposal does not include a residential component.

VII. STAFF FINDING & CONDITIONS

Recommended Motions

Staff recommends approval of the proposed Tread of Pioneers Collections Building.

Finding:

The Tread of Pioneers Collections Building is consistent with the criteria for approval per CDC Sec. 26-65 and Sec. 26-81, with the following conditions:

1. Building roofs may not shed snow or drip roof drainage into public ROW or onto sidewalks. Rain gutters, snow anchors and/or snow fences shall be installed on the alley side roof to prevent rain and snow from falling onto the public ROW.
2. Include the following conditions of approval:
 - a. The following items to be identified for each phase on the building permit are considered critical improvements and must be constructed prior issuance of any TCA or CA; they cannot be bonded:
 - Public sidewalk improvements or repairs
 - Access drive, driveway, and parking areas
3. If the scope of the project changes and the existing collections building is to be moved, an amendment to this approval is required.

VIII. ATTACHMENTS

Attachment 1 – Full Plan Set

Attachment 2 – Project Narrative

SIGNATURE BLOCK

PROPERTY OWNER/ APPLICANT:

JIM PETERSON - BOARD MEMBER
 TREAD OF PIONEERS MUSEUM
 800 OAK STREET
 STEAMBOAT SPRINGS, CO 80477

DATE: _____

PLANS PREPARED BY:

KATE LEGGETT - ARCHITECT
 ERIC SMITH ASSOCIATES
 1919 7TH STREET
 BOULDER, CO 80302

DATE: _____

PLANS PREPARED BY:

DIRECTOR OF PLANNING FOR THE CITY OF STEAMBOAT SPRINGS

TYLER ADAMS

DATE: _____

FINAL DEVELOPMENT PLAN FOR:

LEGAL DESCRIPTION:

LOTS 11 AND 12, BLOCK 8, ORIGINAL TOWN OF
 STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

ALSO KNOWN AS:

TREAD OF PIONEER MUSEUM EXPANSION PROJECT

219 8th STREET, STEAMBOAT SPRINGS, CO 80477

APPROVALS

PRE-APP SUBMITTAL DATE: DATE: 08-04-11
 NO. PRE-11-02

HISTORIC PRESERVATION COMMISSION:
 HEARING DATE: 09-14-11
 APPROVED BY: APPROVED BY VOTE

PLANNING COMMISSION:
 HEARING DATE: 09-22-11
 APPROVED BY: X

CITY COUNCIL:
 HEARING DATE: 10-18-11
 APPROVED BY: X

FDP SUBMITTAL DATE: DATE: 10-26-11
 FINAL DEVELOPMENT PLAN NO. XXX-XX-XX

PLANNING COMMISSION:
 HEARING DATE: XX-XX-XX
 APPROVED BY: X

CITY COUNCIL:
 HEARING DATE: XX-XX-XX
 APPROVED BY: X

FDP EXPIRATION DATE: DATE:

CONDITIONS OF APPROVAL

PROJECT DATA

OCCUPANCY CLASSIFICATION:
 EXISTING BUILDING - OCCUPANCY GROUP A-3
 NEW DISPLAY SPACE - OCCUPANCY GROUP A-3
 COLLECTION STORAGE ADDITION - OCCUPANCY GROUP S-1

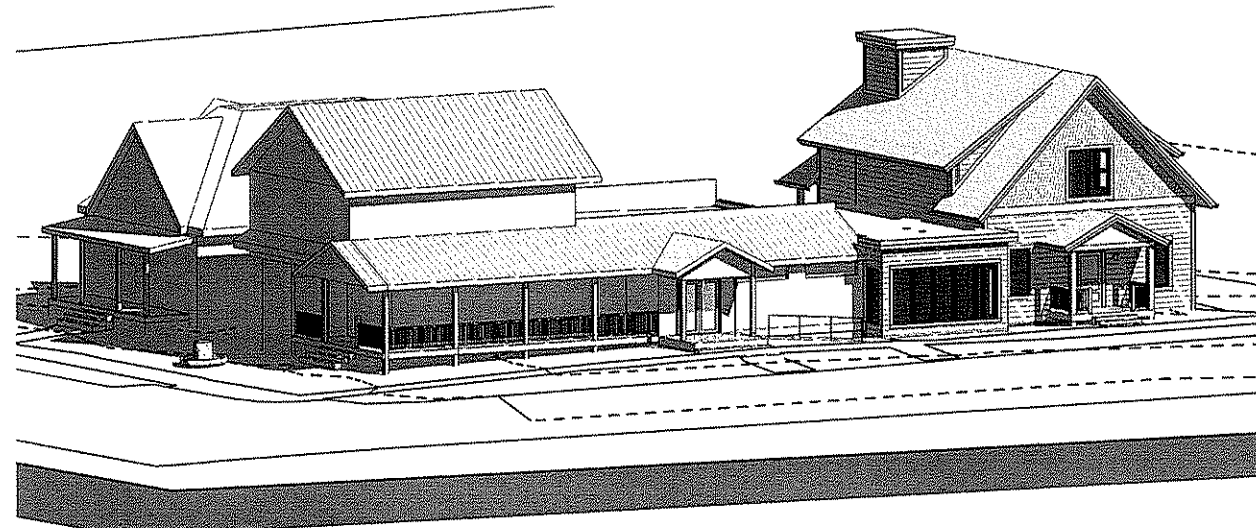
TYPE OF CONSTRUCTION:
 TYPE VB

ZONING DISTRICT:
 CN - COMMERCIAL NEIGHBORHOOD
 PRINCIPLE USE OF PROPERTY: MUSEUM
 AND ACCESSORY USE TO MUSEUM OCCUPANCY

PROJECT PHASING:
 NONE

SHEET INDEX

- FDP-1 COVER SHEET
- FDP-2 ARCHITECTURAL SITE PLAN
- FDP-3.0 ELEVATIONS
- FDP-3.1 ELEVATIONS
- FDP-4 LANDSCAPE PLAN
- FDP-6 EXISTING CONDITIONS PLAN
- FDP-7 FINAL GRADING, DRAINAGE AND UTILITY PLAN
- FDP-9 SHADOW PLANS
- FDP-10.0 BASEMENT AND FIRST LEVEL PLANS
- FDP-10.1 SECOND AND ROOF LEVEL PLANS
- FDP-11 SITE SECTIONS
- FDP-18 PERSPECTIVE
- FDP-22 BUILDING CODE ANALYSIS



PERSPECTIVE VIEW

ZONING REQUIREMENTS

STANDARDS	ZONE/DISTRICT REQUIREMENTS	TOPM COLLECTION HOUSE FDP
LOT AREA (ON OAK STREET)	3000 SF MIN 14,000 SF MAX	13,939 SF
LOT COVERAGE	50% MAX	5,656 SF / 13,939 SF = .405 or 41%
FLOOR AREA RATIO (ADJACENT TO PINE STREET ALLEY)	0.5 MAX	8,681 SF / 13,939 SF = .622 or 62% (VARIANCE REQUEST)
BUILDING HEIGHT (ON OAK STREET) AVERAGE PLATE OVERALL HEIGHT	20' MAX 32' MAX	18'-8" (SEE FDP-22) 31'-3"
FRONT SETBACK (8th Street) PRINCIPAL STRUCTURE ACCESSORY STRUCTURE	10' MIN, 30' MAX 15' MIN	5' FOR PRINCIPAL STRUCTURE (VARIANCE REQUEST)
SIDE SETBACK (Alley) PRINCIPAL STRUCTURE ACCESSORY STRUCTURE	10' MIN 5' MIN	5' FOR PRINCIPAL STRUCTURE (VARIANCE REQUEST)
REAR SETBACK PRINCIPAL STRUCTURE ACCESSORY STRUCTURE	10' MIN 5' MIN	38' PRINCIPAL STRUCTURE
BUILDING SEPARATION	2-HR FIRE WALL (705.4)	2-HR MASONRY FIRE WALL
UNIT SIZE	N/A	
NUMBER OF UNITS	N/A	

PROJECT TEAM

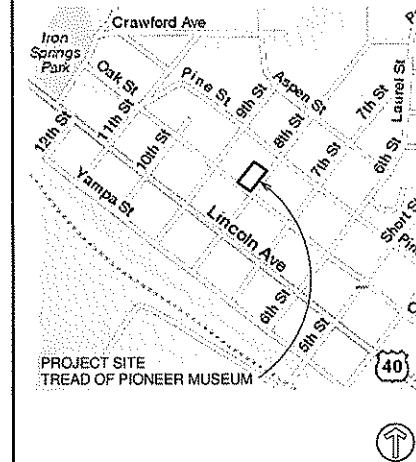
OWNER:
 TREAD OF PIONEERS MUSEUM
 800 OAK STREET
 PO BOX 772372
 STEAMBOAT SPRINGS, CO 80477
 (303) 879-2214
 CONTACT: JIM PETERSON
 EMAIL: jpetersonsbs@comcast.net

ARCHITECT:
 ERIC SMITH ASSOCIATES, P.C.
 1919 7TH STREET
 BOULDER, CO 80302
 (303) 442-5458
 (303) 442-4745 FAX
 PROJECT ARCHITECT: KATE LEGGETT
 EMAIL: KATE@ESAPC.COM

CIVIL:
 LANDMARK CONSULTANTS, INC
 PO BOX 774943
 141 9th STREET
 STEAMBOAT SPRINGS, CO 80477
 (970) 871-9494 X 11
 (970) 871-9299 FAX
 PROJECT ENGINEER: ERIK GRIEPENTROG
 EMAIL: ERIK@LANDMARK-CO.COM

CITY PLANNER:
 Seth E. Lorson, AICP
 City Planner
 City of Steamboat Springs
 P.O. Box 775086
 124 10th Street
 Steamboat Springs, CO 80477
 (970) 871-8280
 slorson@steamboatsprings.net

VICINITY MAP



**TREAD OF PIONEERS
 MUSEUM**
 Steamboat Springs, CO



ERIC SMITH ASSOCIATES, P.C.
 1919 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5458, (303) 442-4745 FAX

Job Number: 11019
 Date: 10/26/11
 Drawn By: Author
 Checked By: Checker

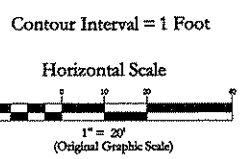
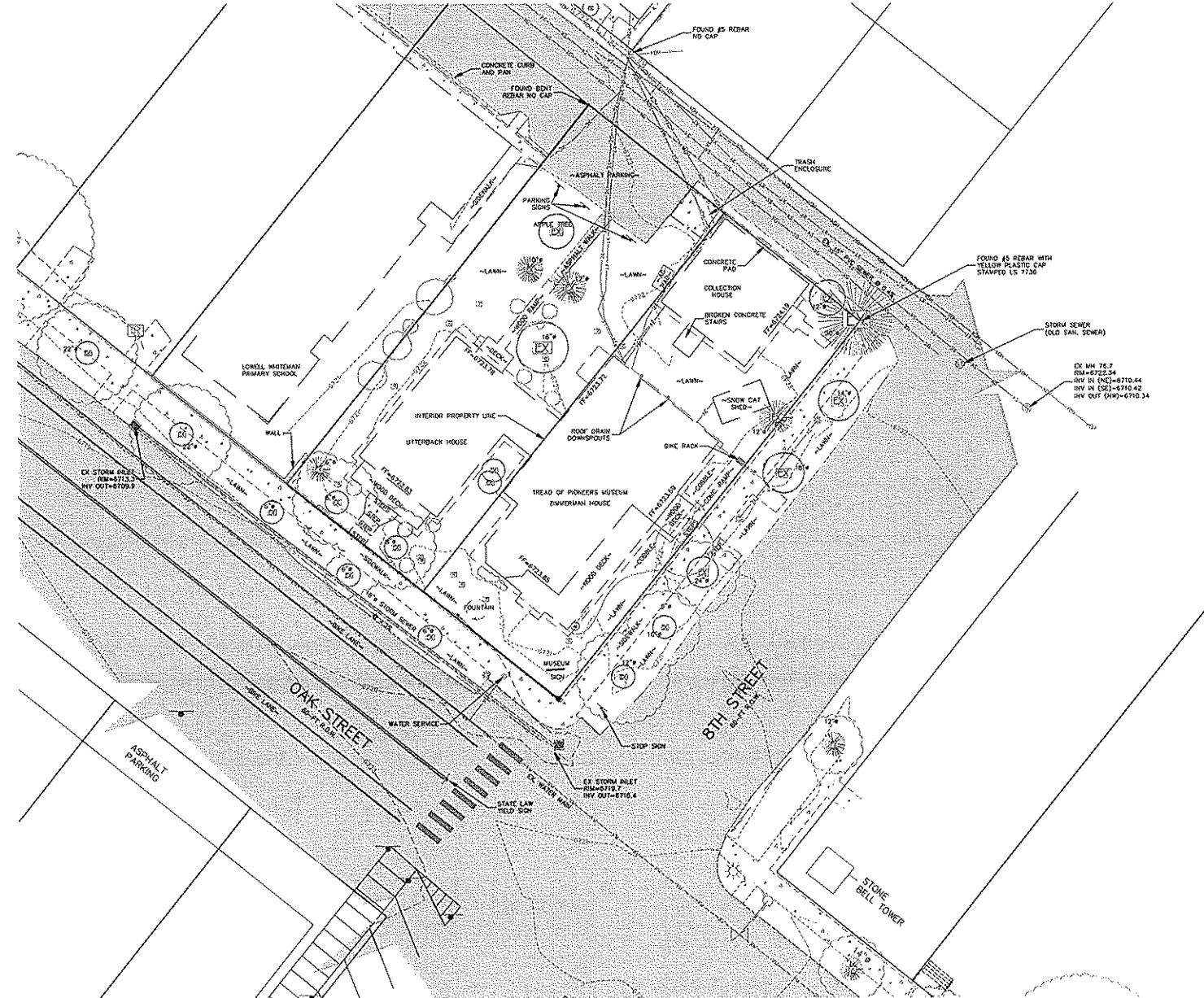
Project Phase
 FDP SUBMITTAL

Sheet Title
 FINAL DEVELOPMENT PLAN
 COVER SHEET

Sheet Number
FDP-1

NOTES:

1. THIS DRAWING IS FOR OBTAINING PLANNING APPROVAL ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OR CONTRACTING PURPOSES.
2. IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" x 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.
3. SURVEY PROVIDED BY D&D, INC. AND SUPPLEMENTED WITH TOPOGRAPHY, UTILITIES, AND SIGNIFICANT LANDSCAPING BY LANDMARK CONSULTANTS, INC. ON OCTOBER 19, 2011.
4. PROJECT BENCHMARK: CITY OF STEAMBOAT SPRINGS BENCHMARK #E-2 241 WITH A NGVD 29 ELEVATION OF 6706.62 FEET AT A #5 REBAR W/ ALUMINUM CAP STAMPED "LS 13221" AT THE INTERSECTION OF 5TH STREET AND RIVER ROAD.
5. LANDMARK USED THE BEST AVAILABLE INFORMATION AND MARKS PROVIDED BY OTHERS FOR SUB-SURFACE UTILITIES. SOME DISCREPANCIES MAY EXIST AND NOT ALL UTILITIES MAY BE SHOWN. COORDINATE ALL EXCAVATION ACTIVITIES THROUGH THE UNDERGROUND NOTIFICATION CENTER OF COLORADO (811).



LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- ▭ EXISTING BUILDING
- ▭ EXISTING ROOF / BUILDING OVERHANG
- ▭ EXISTING DECK
- ▭ EXISTING WALL
- - - 6800 - - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- — — EXISTING UNDERGROUND SANITARY SEWER LINE
- — — EXISTING UNDERGROUND WATER LINE
- — — EXISTING UNDERGROUND GAS LINE
- — — EXISTING OVERHEAD UTILITY LINES
- EXISTING UTILITY POLE
- — — EXISTING UNDERGROUND ELECTRIC LINE
- ⊠ EXISTING ELECTRIC TRANSFORMER AND SECONDARY PEDESTAL
- ☀ EXISTING LIGHT POLE
- — — EXISTING UNDERGROUND CABLE TELEVISION LINE
- ⊠ EXISTING CABLE TELEVISION PEDESTAL
- — — EXISTING UNDERGROUND TELEPHONE LINE
- ⊠ EXISTING TELEPHONE PEDESTAL
- — — EXISTING DITCH / SWALE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING OUTLINE OF BUSH
- — — EXISTING STORM SEWER
- — — EXISTING STORM INLET/DRAIN
- EXISTING SITE SIGN
- IRRIGATION CONTROL BOX



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REVISIONS

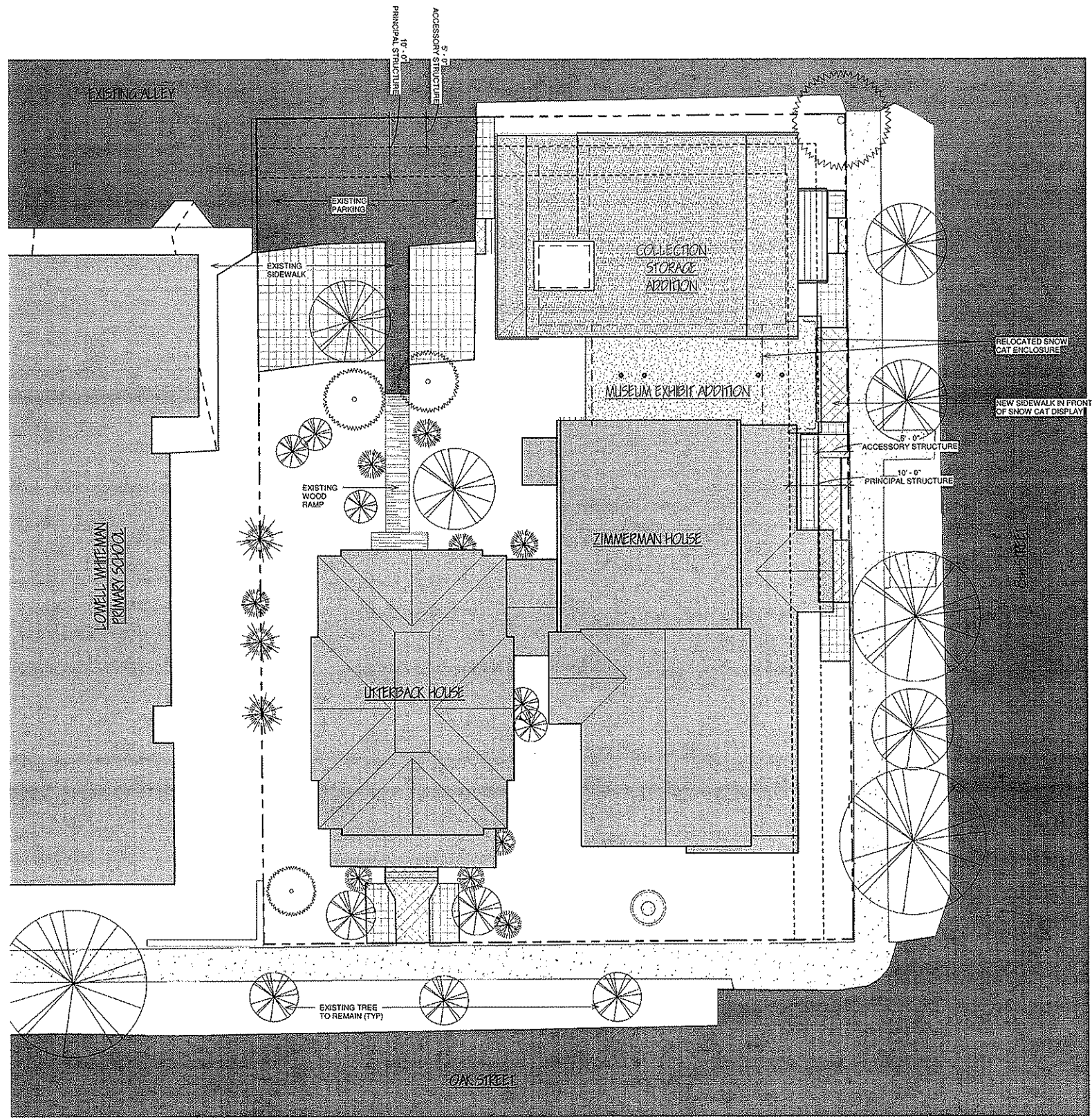
No.	Description	Date

TREAD OF PIONEERS MUSEUM
Steamboat Springs, CO



Job Number:	11019
Date:	10/26/11
Drawn By:	E.K.
Checked By:	J.K.

Project Phase	
FDP SUBMITTAL	
Sheet Title	
Existing Conditions Plan	
Sheet Number	
FDP-6	



SNOW STORAGE KEY

PAVEMENT
 SNOW STORAGE PROVIDED

1225 SF OF PAVEMENT ON THE SITE
 CDC SECTION 24-144 SNOW STORAGE
 1 SF OF SNOW STORAGE IS REQUIRED FOR EVERY 2 SF OF PAVEMENT.

1225 / 2 = 613 SF OF SNOW STORAGE REQUIRED
 SNOW STORAGE PROVIDED:
 580 SF

1 ARCHITECTURAL SITE PLAN
 FDP-2 1" = 10'-0"

0' 5' 10' 20' 40'

PROJECT NORTH TRUE NORTH

DISCLAIMER

Please do not alter or modify the drawings and/or specifications without the written consent of Eric Smith Associates, P.C. The drawings and specifications are provided for your information only and do not constitute a contract. The drawings and specifications are provided for your information only and do not constitute a contract. The drawings and specifications are provided for your information only and do not constitute a contract. The drawings and specifications are provided for your information only and do not constitute a contract.

REVISIONS

No.	Description	Date

TREAD OF PIONEERS MUSEUM
 Steamboat Springs, CO

ES
 ERIC SMITH ASSOCIATES, P.C.
 1919 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5485, (303) 442-4745 FAX

Job Number: IIC15
 Date: 10/26/11
 Drawn By: Asher
 Checked By: Checker

Project Phase
 FDP SUBMITTAL

Sheet Title
 ARCHITECTURAL SITE PLAN

Sheet Number
FDP-2

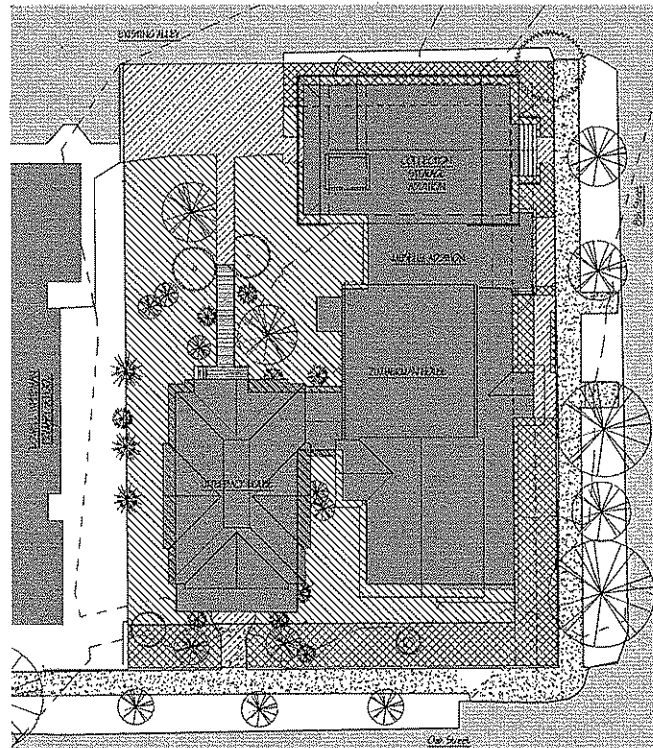
LANDSCAPE REQUIRED

AREA	SQUARE FOOTAGE	TREES REQUIRED	EXISTING TREES	NEW TREES
10' LANDSCAPE SETBACK (2045 SF)	1 TREE/400SF	6 TREES	4 IN LANDSCAPE SETBACK	2*
INTERIOR LANDSCAPE (3445 SF)	1 TREE/500 SF	8 TREES	6 TREES	2**

* PROVIDE (2) ORNAMENTAL TREES IN LANDSCAPE SETBACK
 ** PROVIDE (2) ORNAMENTAL TREES IN INTERIOR LANDSCAPE AREA
 PROVIDE NEW GROUND COVER AROUND BUILDING ADDITIONS
 ADJUST EXISTING IRRIGATION SYSTEM TO SUPPLY FOR NEW LANDSCAPE AREAS.
 EXISTING STREET TREES TO REMAIN

LANDSCAPE NOTES

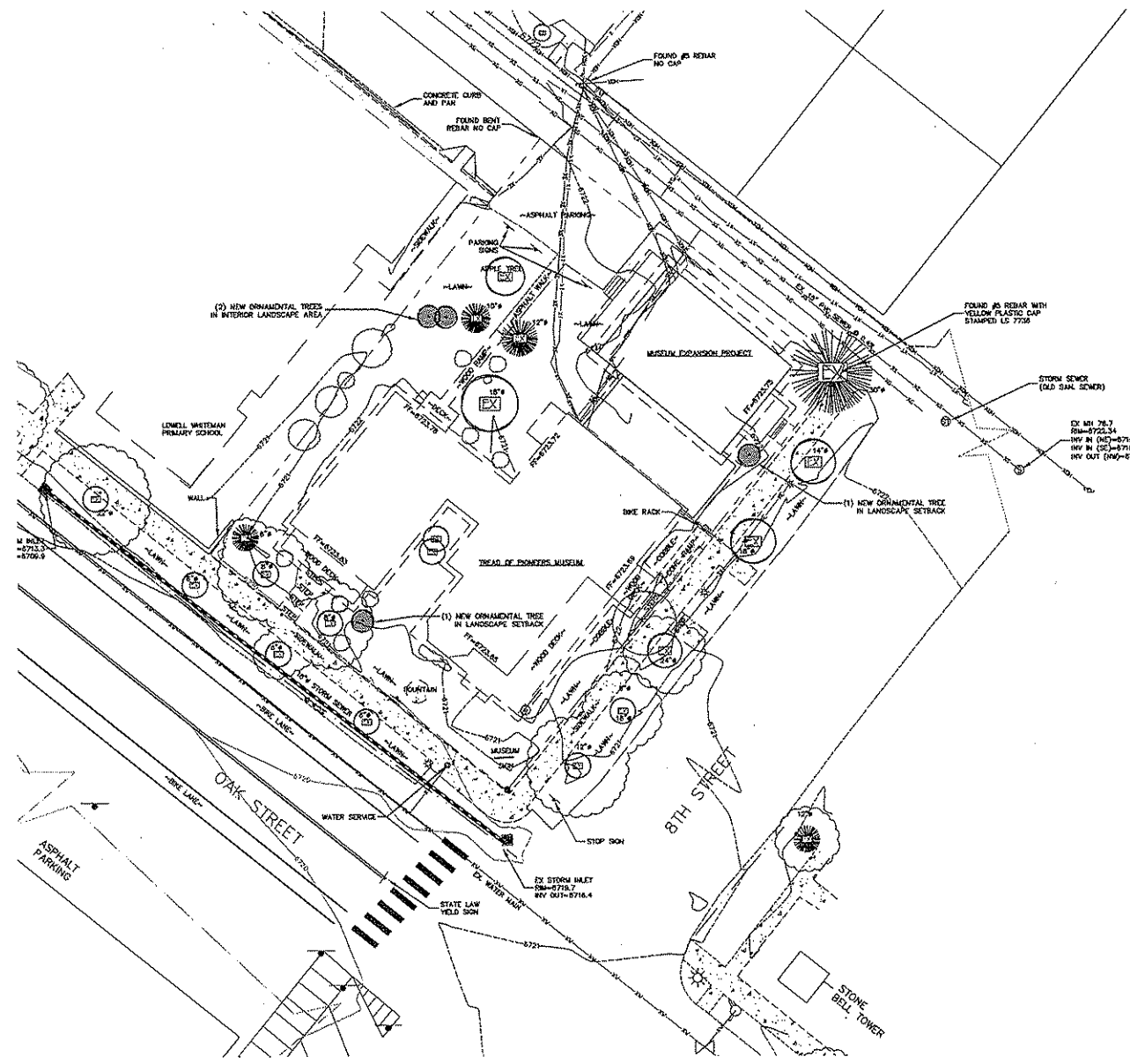
CDC SECTION 26-137
 LANDSCAPING STANDARDS AND REVEGETATION
 ZONE DISTRICT
 CN (COMMERCIAL NEIGHBORHOOD)
 ADJACENT TO ROADWAY
 LANDSCAPE BUFFER:
 All undeveloped areas from the required front yard setback to the edge of the right-of-way shall be landscaped.
 CATEGORY OF LANDSCAPING: Moderate
 PARKING AREA
 SETBACK BUFFER: NA
 CATEGORY: NA
 INTERIOR: Moderate
 ADDITIONAL REQUIREMENTS
 Street shade trees shall be required at a size and type accepted by the department of Planning and Community Development. All development and redevelopment along numbered side streets (3rd, 4th, 5th, etc.) in the CN zone district shall provide street trees similar to the specifications provided in the Lincoln Avenue Sidewalk Standards Details and in accordance with section 20-23 of this Code. See landscaping standards in Section III of the Urban Design Standards.
 MODERATE LANDSCAPE PER CDC TABLE 26-137
 LANDSCAPE SETBACK - 1 TREE PER 400 SF
 INTERIOR LANDSCAPE - 1 TREE PER 500 SF
 TREE DISTRIBUTION:
 10% - EVERGREEN (6-7 FEET)
 15% - EVERGREEN (8-11 FEET)
 10% - EVERGREEN (10 FEET OR ABOVE)
 20% - LARGE DECIDUOUS (2 1/2" CAL)
 15% - ORNAMENTAL (1 1/2" CAL)
 15% - SHRUB (5-GALLON)
 GROUND COVER - 60% IRRIGATED GRASS SEED, TURF OR SOD. PLANT MATERIALS TO BE LOCATED IN GROUPINGS TO GIVE A MORE NATURAL APPEARANCE AND TO PROVIDE THE GREATEST POSITIVE VISUAL IMPACT.
 STREET SHADE TREES SHALL BE REQUIRED AT A SIZE AND TYPE ACCEPTABLE BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT. 5th STREET STREET TREES TO BE SIMILAR TO THE SPECIFICATIONS PROVIDED IN THE LINCOLN AVENUE SIDEWALK STANDARD DETAILS.
 SEE APPENDIX A IN THE URBAN DESIGN GUIDELINES FOR RECOMMENDED LANDSCAPING TREES, SHRUBS AND GROUND COVER.



PAVED SURFACE
 1260 SF
 INTERIOR LANDSCAPE AREA
 3445 SF
 LANDSCAPE SETBACK
 2045 SF

LANDSCAPE KEY MAP

SCALE: 1" = 20' 0"



LANDSCAPE PLAN

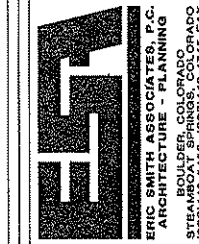
SCALE: 1" = 20' 0"



NOTICE: LIMIT OF GUARANTEE
 Release of these plans constitutes further acceptance of the work by the contractor and the architect. Design and construction are complete. Although the architect and the contractor have performed their services with due care and diligence, they cannot guarantee perfection. Completion is imperfect and any conditions cannot be guaranteed. Any liability of the contractor shall be limited to the extent of the contract. Failure to notify the architect of any errors or omissions and/or to make any corrections within the time specified in the contract shall release the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are prohibited and will release the architect of responsibility for all consequences arising out of such changes.
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No.	Description	Date
1	FDP TAC	11/21/11

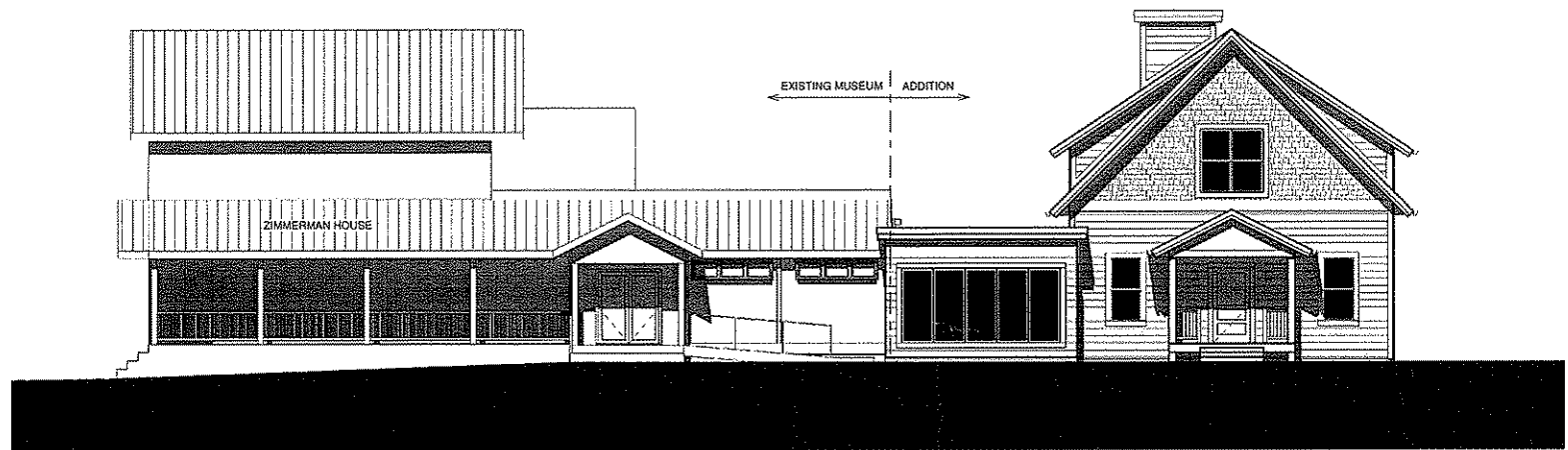
TREAD OF PIONEERS MUSEUM
 STEAMBOAT SPRINGS, CO



JOB NO.: 11213
 DATE: 10/26/11
 DRAWN: KKJL
 CHECKED: EPB
 DRAWING PHASE
 FDP SUBMITTAL
 SHEET TITLE
 LANDSCAPE PLAN
 SHEET NUMBER

FDP-4

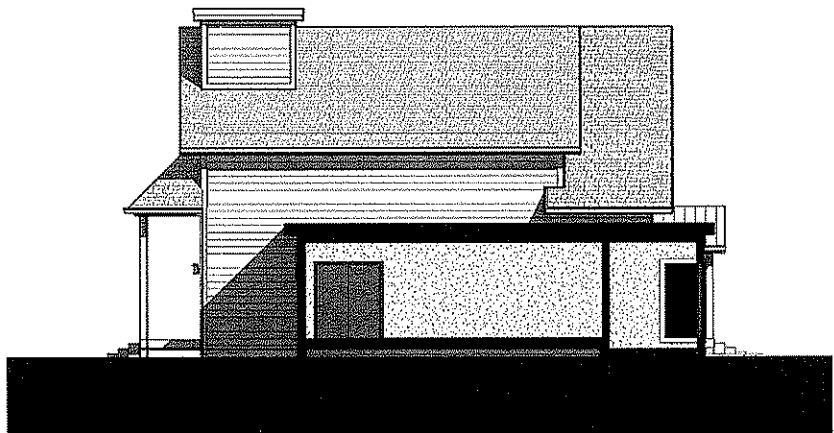
UPDATED PER TAC COMMENTS ON 11-21-11



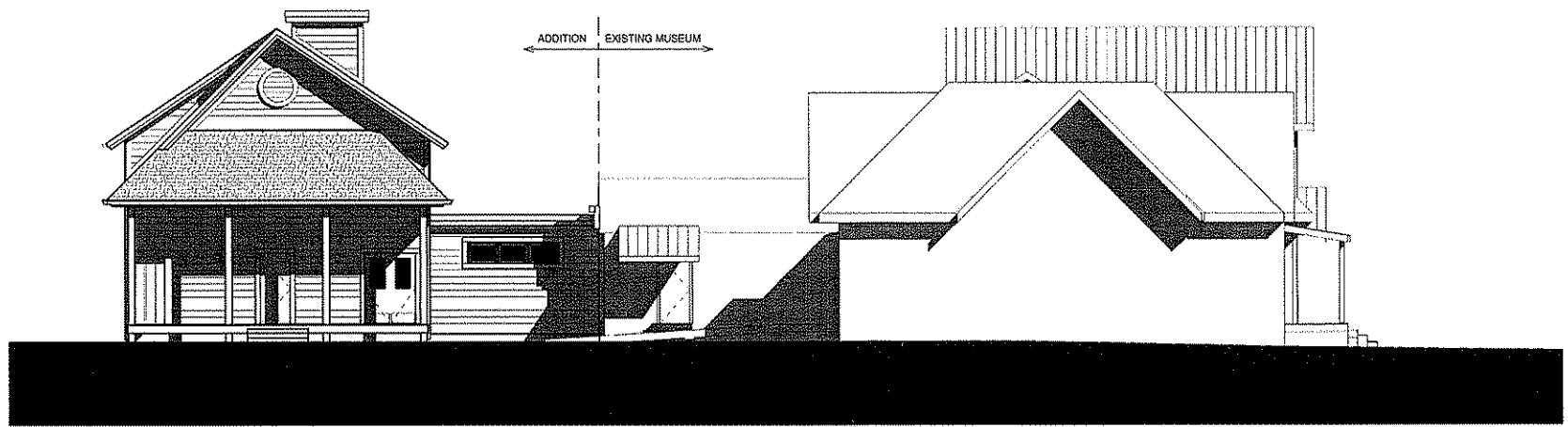
1 VIEW FROM 8TH STREET
FDP-3.0 1/8" = 1'-0"



2 VIEW FROM ALLEY
FDP-3.0 1/8" = 1'-0"



3 SOUTH ELEVATION OF STORAGE ADDITION
FDP-3.0 1/8" = 1'-0"



4 VIEW FROM THE WEST
FDP-3.0 1/8" = 1'-0"

DISCLAIMER
 Release of these documents constitutes the contractor's agreement to provide the service, not a contract. The contractor shall be responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided.

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No.	Description	Date

**TREAD OF PIONEERS
 MUSEUM**
 Steamboat Springs, CO

ES
 ERIC SMITH ASSOCIATES, P.C.
 1919 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5455, (303) 442-4745 FAX

Job Number:	11015
Date:	10/26/11
Drawn By:	Author
Checked By:	Checker

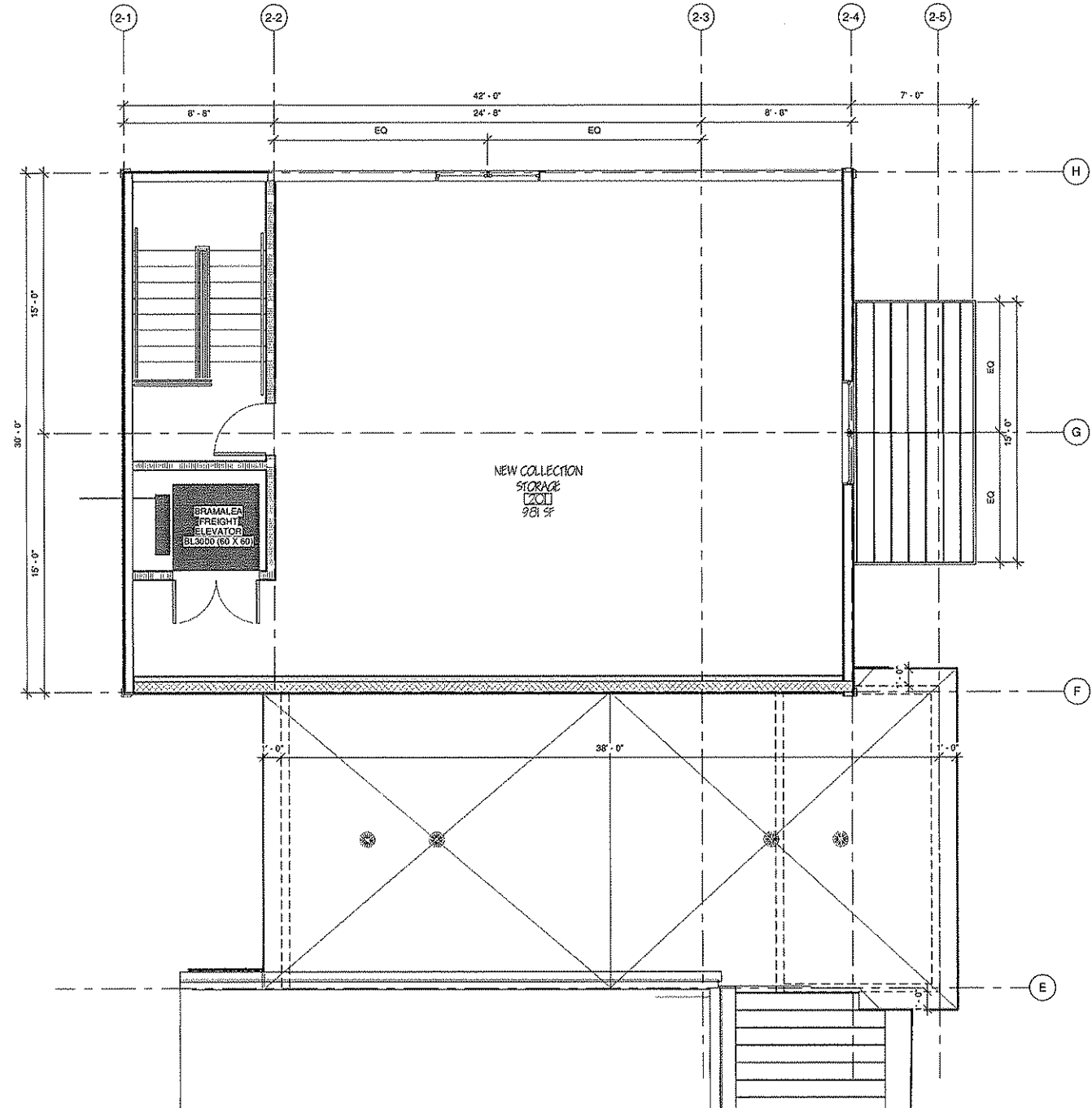
Project Phase
 FDP SUBMITTAL

Sheet Title
 EXTERIOR ELEVATIONS

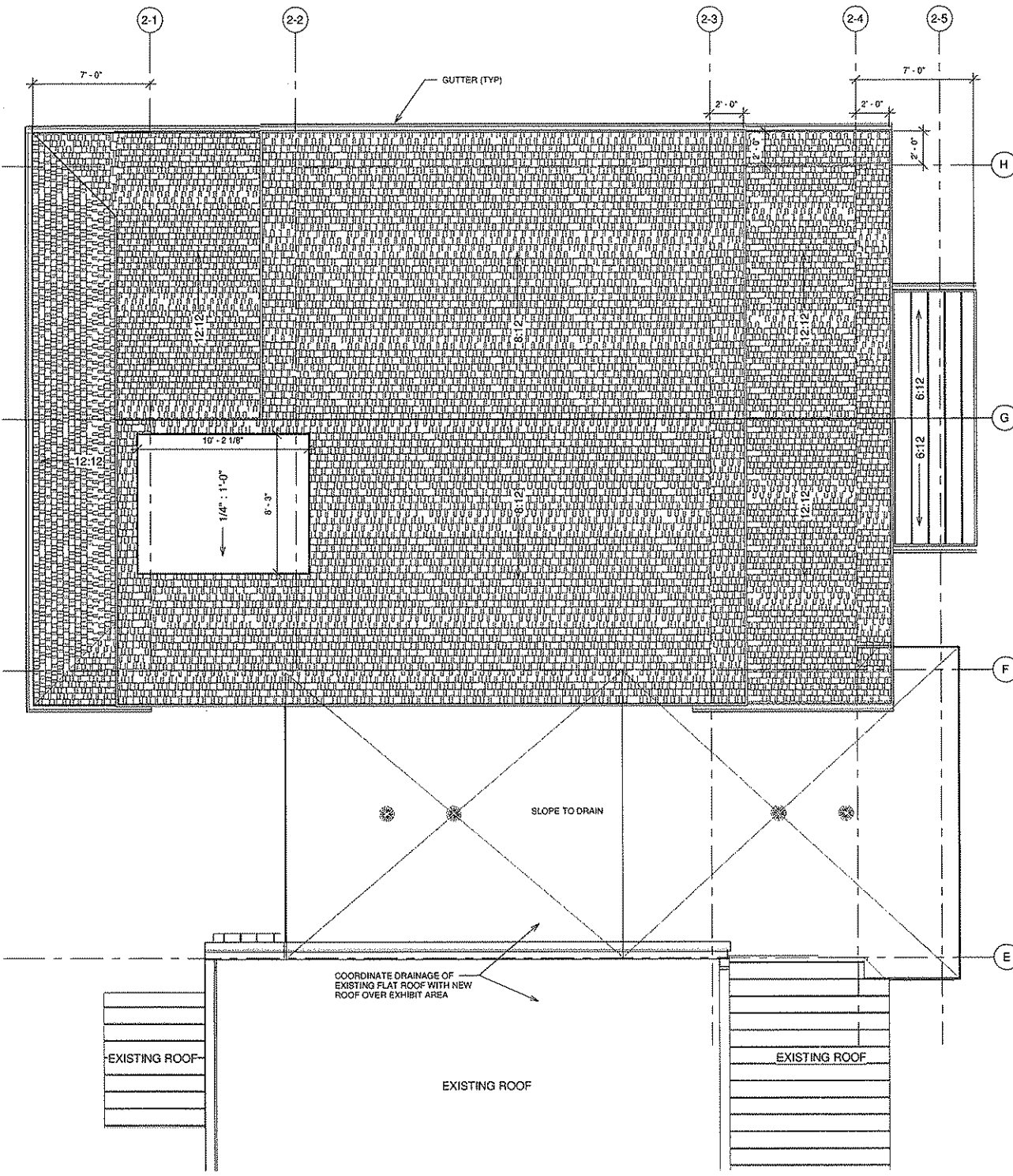
Sheet Number
 FDP-3.0

10/26/2011 1:34:15 PM

10/26/2011 1:34:36 PM



1 UPPER LEVEL
FDP-10 1/4" = 1'-0"



2 ROOF LEVEL
FDP-10 1/4" = 1'-0"

NOTE: SCOPE OF CONTRACT
 Release of these plans constitutes your agreement to construct the work. No contractor shall be permitted to alter the plans without the written consent of the architect. Although the architect has reviewed the contract, it is your responsibility to ensure that the contract covers all aspects of the work. The architect is not responsible for any errors or omissions in the contract. The architect shall not be responsible for any delays or stoppages caused by the contractor. The architect shall not be responsible for any changes to the contract. The architect shall not be responsible for any claims or damages arising from the work. The architect shall not be responsible for any claims or damages arising from the work. The architect shall not be responsible for any claims or damages arising from the work.

REVISIONS		
No.	Description	Date

TREAD OF PIONEERS
MUSEUM
 Steamboat Springs, CO

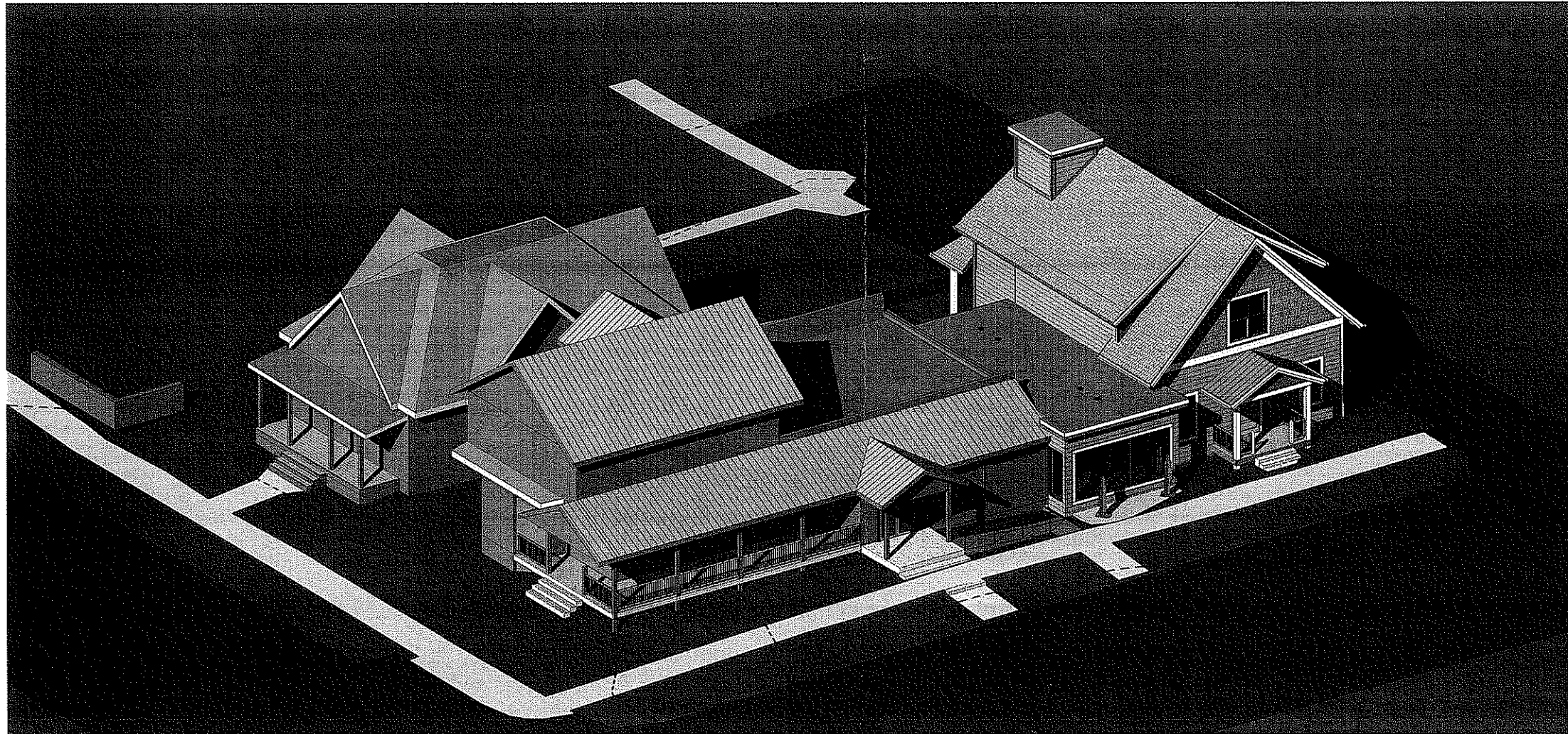
ERIC SMITH ASSOCIATES, P.C.
 1819 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5485, (303) 442-4745 FAX

Job Number:	11045
Date:	10/26/11
Drawn By:	Author
Checked By:	Checker

Project Phase
 FDP SUBMITTAL

Sheet Title
 SECOND & ROOF LEVEL PLANS

Sheet Number
FDP-10.1



1 PERSPECTIVE
FDP-18

NOTICE OF COOPERATION
 Provider of these data certifies that cooperation among the parties, has been established and the architect, designer and contractor have agreed to the project. The architect and contractor have agreed to the project. The architect and contractor have agreed to the project. The architect and contractor have agreed to the project.

Always, documents and data prepared by Eric Smith Associates, P.C. as a result of a professional relationship with the client. The client agrees to hold Eric Smith Associates, P.C. harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, arising out of or from the use of the information contained herein, whether or not such claims, damages, losses and expenses are caused in whole or in part by the negligence of Eric Smith Associates, P.C.

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 MUSEUM**
 Steamboat Springs, CO

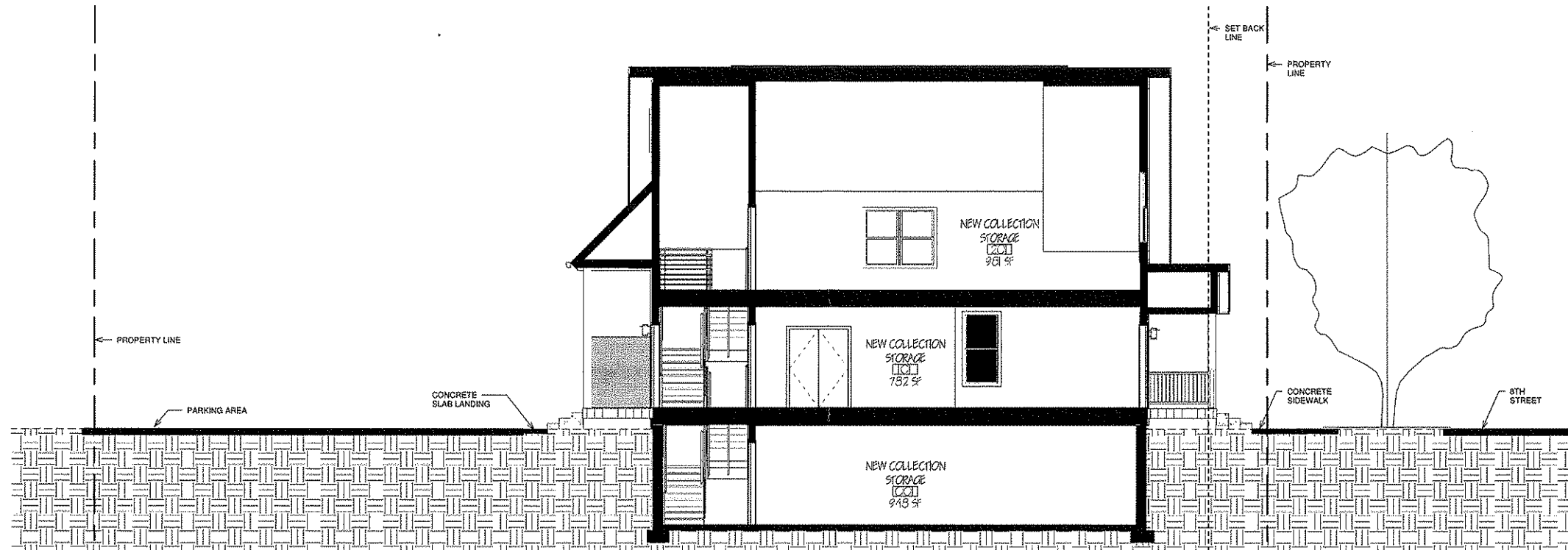
ERIC SMITH ASSOCIATES, P.C.
 1919 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5455, (303) 442-7745 FAX

Job Number: 11019
 Date: 10/26/11
 Drawn By: Author
 Checked By: Checker

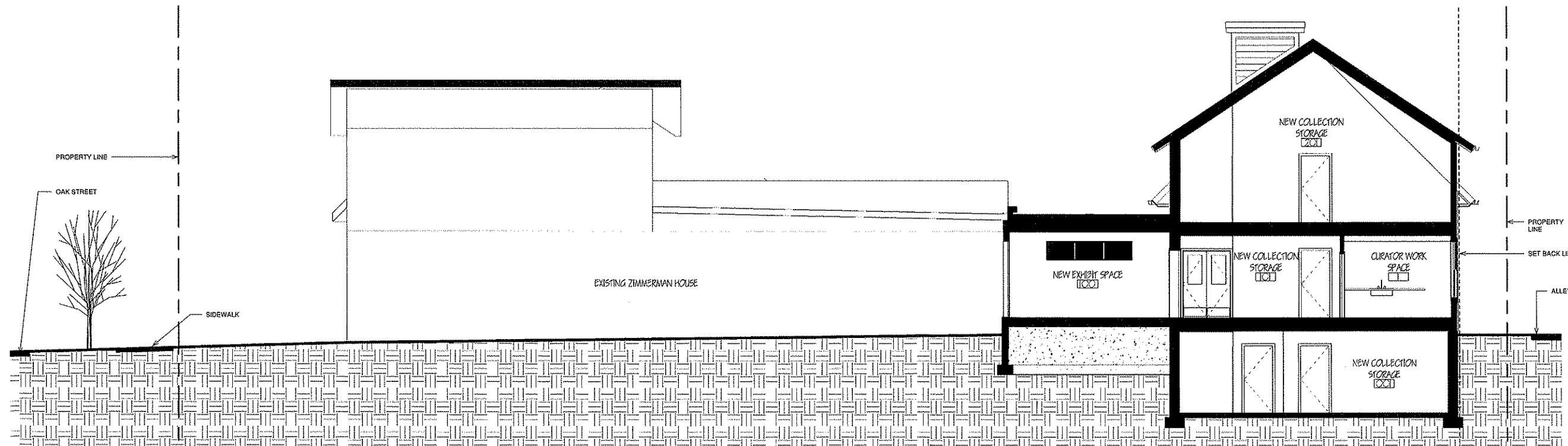
Project Phase
 FDP SUBMITTAL

Sheet Title
 SHE PERSPECTIVE

Sheet Number
 FDP-18



1 SITE SECTION 2
FDP-1' 3/16" = 1'-0"



2 SITE SECTION 1
FDP-1' 3/16" = 1'-0"

NOTICE: OUT OF CONTRACT
 Release of these plans constitutes the contractor's agreement to perform the work under the contract. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. Any changes or modifications to these plans shall be made in writing and signed by the contractor. The contractor shall be responsible for all construction and shall not be held responsible for any errors or omissions in these plans. The contractor shall be responsible for all construction and shall not be held responsible for any errors or omissions in these plans. The contractor shall be responsible for all construction and shall not be held responsible for any errors or omissions in these plans.

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 Steamboat Springs, CO

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 1919 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5456, (303) 442-4745 FAX

Job Number: 11015
 Date: 10/26/11
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Project Phase
 FPP SUBMITTAL

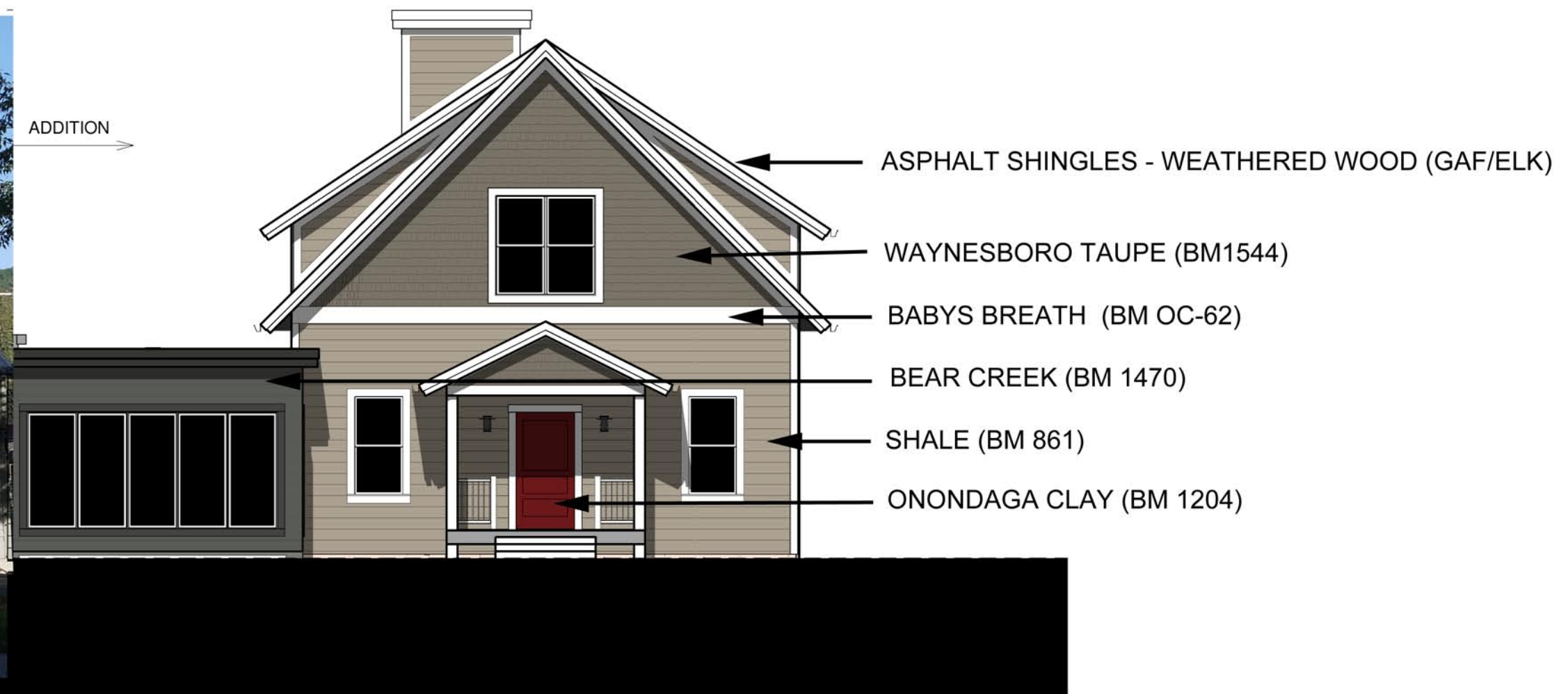
Sheet Title
 SITE SECTIONS

Sheet Number
FDP-11

10/26/2011 1:34:41 PM



ADDITION



- ASPHALT SHINGLES - WEATHERED WOOD (GAF/ELK)
- WAYNESBORO TAUPE (BM1544)
- BABYS BREATH (BM OC-62)
- BEAR CREEK (BM 1470)
- SHALE (BM 861)
- ONONDAGA CLAY (BM 1204)

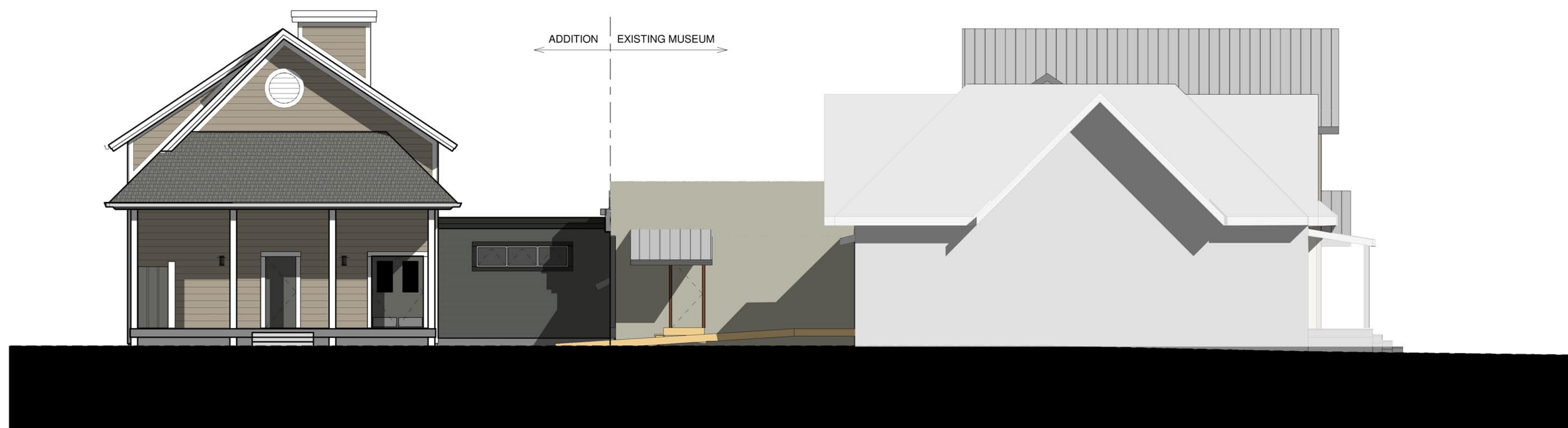
1 VIEW FROM 8TH STREET
FDP-3.0 1/8" = 1'-0"



2 VIEW FROM ALLEY
FDP-3.0 1/8" = 1'-0"



3 SOUTH ELEVATION OF STORAGE ADDITION
FDP-3.0 1/8" = 1'-0"



4 VIEW FROM THE WEST
FDP-3.0 1/8" = 1'-0"

NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, the contractor and the architect. Design and construction are complex. Although the architect and the consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect constitutes misrepresentation and increases construction costs. A failure to cooperate by a simple notice to the architect shall release the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.

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Eric Smith Associates, P.C.

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MUSEUM
Steamboat Springs, CO

ES
ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5486, (303) 442-4746 FAX

Job Number: 11013
Date: 10/26/11
Drawn By: Author
Checked By: Checker

Project Phase
FDP SUBMITTAL
Sheet Title
EXTERIOR ELEVATIONS
Sheet Number

FDP-3.2

11/30/2011



Proposal Description for Final Development Plan

Tread of Pioneers Museum - Expansion Project

DPF-11-02

November 29, 2011

Intent:

The purpose of this project is to improve and expand collection storage capabilities, implement environmental condition monitoring and provide for conservation specific work space for the Tread of Pioneers Museum. The proposed addition and connection will provide purposed-designed, collection storage and workspace to replace the house currently being used to store collection pieces. The connection to the existing museum will be display space and incorporate the existing snow cat enclosure.

The entire addition will comply with Old Town Steamboat Springs Design Standards for the Commercial Neighborhood Zone District, the Colorado Historical Society and Secretary of the Interior's Standards.

Proposed Uses and Structures:

Collection Addition: The proposed collection addition is to be a 2-story plus basement, type VB construction, wood frame building for collection storage and restoration workspace. The proposed facility is to be composed of work, storage and mechanical space as well as a stair and freight elevator. The incorporation of higher ceiling height and increased floor load capacity will accommodate rolling, museum-grade storage systems. It will also include a fire suppression system and an updated security system.

The collection addition is designed to resemble a house from the exterior. It strives to convey traditional residential qualities and scale to create visual continuity within the neighborhood. These implemented qualities include using traditional materials (horizontal wood and shingle siding), steep pitch roofs (similar in character to their neighbors including the existing museum houses), a covered porch to define the entry and maintaining a human scale along the street.

Exhibit Addition: The proposed exhibit connection is to be a 1-story of crawl space, type VB construction, wood frame building used for display of artifacts.

This exhibit space links the existing museum to the proposed storage addition with a clear separation that does not attempt to match the historic design of the existing museum. There will be large areas of glazing along the 8th Street side of the link to allow pedestrians to view the snow cat on display.

The two additions will be separated by a 2-hour masonry fire wall.

Existing Collection House: The existing "cowboy craftsman" collections house that sits along the alley on the north east end of the Tread of Pioneers Museum property is to be removed (deconstructed where possible). The exterior of this existing house has damaged exterior aluminum siding, plywood boards over most of the windows and doors and the concrete foundation is crumbling and cracking in several location. The interior has been extremely compromised with the change in program to museum storage. The mechanical, security and fire suppression systems are inefficient for collection storage requirements.

Storage Capacity:

Existing Collection Building:	520 SF (Basement)
	900 SF (1st Floor)
	<u>480 SF (2nd Floor)</u>
	1,900 SF TOTAL
New Collections Building	1,260 SF (Basement)
	1,275 SF (1st Floor)
	<u>1,275 SF (2nd Floor)</u>
	3,810 SF TOTAL

Results in 1,910 SF increase in storage capability.

Issues to be addressed by Collection Storage Addition:

- Air-tightness
- Dust Particulates
- Humidity
- Cooling
- Zoned HVAC
- Ultraviolet Light (natural and artificial)
- Infestation
- Floor Loading
- Hazardous Materials
 - Building
 - Collection
 - Flammables and Combustibles
- Advanced Alarm System
- Building Fire Sprinkler System
- Code Compliance - Life and Fire Safety

VARIANCES

for

Legal Description

LOTS 11 AND 12, BLOCK 8, ORIGINAL TOWN OF STEAMBOAT SPRINGS,
ROUTT COUNTY, COLORADO.

Also Know As

**TREAD OF PIONEERS MUSEUM
EXPANSION PROJECT**

219 8th STREET, STEAMBOAT SPRINGS, CO 80477

DPF-11-02

Updated 11/21/11

TOPM Proposed Variances

1. Front Setback (8th Street):

Section 26-132(b) Dimensional Standards for CN Zone District

The CN zone district has a minimum front setback of ten feet (10').
The project proposes a five foot (5') front setback along 8th Street.

The existing site layout includes an enclosure for the historical snow cat that sits 5'-0" off of the 8th Street sidewalk, in the landscape between the storage house and the museum. During the winter, the area between the snow cat building and the sidewalk is a snow storage area, which prevents people from stepping forward and moving around the display building. As part of the proposed project, the existing snow cat building will be incorporated in the proposed connection between the storage building and existing museum. A sidewalk will be provided to encourage passers-by to approach, engage and interact with the snow cat display during all seasons.

The proposed accessibility to the snow cat during all seasons is an advantage over the existing layout and exceeds developmental guidelines by enhancing the exterior exhibit experience for the public. This inset of 5'-0" into the setback is minimal in exchange for the establishment of public viewing space for the snow cat.

CDC – Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** *The property and the use of such property is in compliance with all requirements of the zone district in which the property is located.*
- b. **Injury to Adjoining Property Mitigated:** *The variance will not permanently injure or adversely impact legal conforming uses of adjacent property.*
- c. **Advantages Outweigh Disadvantages:** *See paragraph above.*
- d. **Superior Development:** *See paragraph above.*
- e. **Minimum Relief:** *See paragraph above.*

CDC – Section 26-81 PUD (g)(2) Criteria for review of setback variations.

- a. **Emergency vehicle access:** *There is no change to the access an emergency vehicle would have to the building with this variance request.*
- b. **Environmental sensitivity and land use compatibility:** *This project is not in a developing portion of the city, therefore this requirement does not apply.*
- c. **Light, air, and solar access:** *The light and air issues apply to units. There are no units as part of this project, so the light and air issues do not apply. The proposed project provides for more south facing roof for future solar.*
- d. **Waterbody setbacks:** *This is not a waterbody setback variance request.*

2. Side Setback (Alley):

Section 26-132(b) Dimensional Standards for CN Zone District

The side setback in the CN zone district is ten feet (10').
The project proposes a five foot (5') side setback.

The proposed collection addition's relationship to the museum is accessory, providing the storage for the main purpose of displaying the items being stored. If there was no link, this building would be considered an accessory building. The function of the accessory space is the same whether linked or not; storage. The advantage of it being connected is to provide transport of collection items in a safe and protected space between its primary and accessory functions.

The proposed storage addition better meets the zoning requirements than the existing building. The existing collection house is less than 1'-0" off of the property line and does not currently meet the side setback requirements. The snow sheds off the existing metal roof directly into the alley. The proposed site layout increases the rear setback to over 5'-0". Roof details will be provided to keep snow from shedding into the ROW.

The requested variance of 5'-0" is minimal in interfering with alley access and functions. It's also exceptionally better than the 10" of setback afforded by the existing building.

CDC - Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** *The property and the use of such property is in compliance with all requirements of the zone district in which the property is located.*
- b. **Injury to Adjoining Property Mitigated:** *The variance will not permanently injure or adversely impact legal conforming uses of adjacent property.*
- c. **Advantages Outweigh Disadvantages:** *See paragraph above.*
- d. **Superior Development:** *See paragraph above.*
- e. **Minimum Relief:** *See paragraph above.*

CDC – Section 26-81 PUD (g)(2) Criteria for review of setback variations.

- a. **Emergency vehicle access:** *The layout of the proposed addition along the alley affords more space for emergency vehicle access compared to what is currently available with the existing storage building location.*
- b. **Environmental sensitivity and land use compatibility:** *This project is not in a developing portion of the city, therefore this requirement does not apply.*
- c. **Light, air, and solar access:** *The light and air issues apply to units. There are no units as part of this project, so the light and air issues do not apply. The proposed project provides for more south facing roof for future solar.*
- d. **Waterbody setbacks:** *This is not a waterbody setback variance request.*

3. Floor Area Ratio (FAR):

Section 26-132(b) Dimensional Standards for CN Zone District

The CN zone district has a maximum FAR standard of 50%.
The project proposes FAR of 62% or 8,681 SF of total floor area on a 13,939 SF lot.

This proposed expansion of the museum will provide much needed purpose-designed space in which to store the historical exhibit artifacts. The space is designed to accommodate the large structural loads of museum storage units and large collection pieces. One third of the storage addition is located underground to minimize the site area as much as possible. The proposed exhibit link will provide additional display space as well as allowing the transfer of museum collection items safely and securely between the museum and their storage locations.

The proposed additions have been designed to increase the visual separation between themselves and the existing museum. This is accomplished by making the proposed one story exhibit addition a "glass connector" that projects forward along 8th street. It visually separates the existing Zimmerman House and the proposed Storage Building. This allows the buildings on the site to be visually separate entities rather than one large building that overwhelms the size of the lot.

CDC – Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** *The property and the use of such property is in compliance with all requirements of the zone district in which the property is located.*
- b. **Injury to Adjoining Property Mitigated:** *The variance will not permanently injure or adversely impact legal conforming uses of adjacent property.*
- c. **Advantages Outweigh Disadvantages:** *See paragraph above.*
- d. **Superior Development:** *See paragraph above.*
- e. **Minimum Relief:** *See paragraph above.*

4. Parking:

CDC Section 26-139 Parking and loading design standards

CN Zone Retail Parking Requirement: 1 parking space per 900 SF

9,941 SF / 900 SF = 11 parking spaces
On-site Parking: 3 parking spaces
 1 accessible parking space
 4 parking spaces

Existing street parking provides the remainder of the required parking spaces.

There is no provision to change the parking for the Museum as part of this project. The addition of a storage building on site will not increase the number of employees at the

Museum. The small exhibit space that is proposed to link the storage building to the existing museum provides for space to expand existing exhibits. If there is an increase in visitors due to this small public addition, parking is to be accommodated on the street. There are also several existing Steamboat Springs Transit bus lines located within (1/4) mile of the museum for use by patrons and staff alike.

CDC – Section 26-65 (d)(8) Variance Criteria

- a. **Legal Use:** *The property and the use of such property is in compliance with all requirements of the zone district in which the property is located.*
- b. **Injury to Adjoining Property Mitigated:** *The variance will not permanently injure or adversely impact legal conforming uses of adjacent property.*
- c. **Advantages Outweigh Disadvantages:** *See paragraph above.*
- d. **Superior Development:** *See paragraph above.*
- e. **Minimum Relief:** *See paragraph above.*

CDC – Section 26-81 PUD (g)(3) Criteria for review of parking standard variations.

- a. **Transit-oriented design:** **A variation may be granted based on a determination that they proposed development is a transit-oriented design. This shall include a finding that they development is located no more than (1/4) mile from a stop along a public transportation route, and the PUD has been designed to provided the appropriate connections from structures to the transit facility.**

There is a Steamboat Springs Transit Winter and Summer Line (yellow) bus stop (314) 1 block (.1 miles) northwest of the museum at the corner of 9th and Oak Streets. The main Steamboat Springs Transit lines (red and blue) both run along Lincoln Avenue (stops 29 and 23), which are 2 blocks (.2 miles) southeast of the museum.

- b. **Alternative transportation plan:** *Not requested.*
- c. **Application of parking variations:** *Not requested.*
 - i. **Limitation to amount of parking spaces to be varied:**
 - ii. **Relation to other parking reductions:**

TOPM PUD Proposed Public Benefits

CDC Section 26-65(b)(4) Development plan.
Applications for a variation from more than two (2) Dimensional or Development standards shall be processed as a Planned Unit Development (PUD).

CDC Section 26-81(e)(4) Planned Unit Development
Contributions to public benefits and improvements.
If three (3) to four (4) variances are approved, the applicant shall provide at least one of the listed benefits.

d. ***Contributions to preserve or enhance cultural and historical resources or public spaces.*** The proposed development will accomplish preservation or enhancement of cultural and historical resources or public spaces by a contribution equal to or greater than one percent of the project's land and construction cost valuation as determined by the Routt County Building Department.

e. ***Public art.*** A PUD development plan may be approved by city council at its discretion for contributions to the city for public art. The contributions shall be equal to or greater than one percent or greater of the project's land and construction cost valuation as determined by the Routt County Building Department.

As part of the PUD process, the proposed project at the Tread of Pioneers Museum will be providing "contributions to preserve or enhance cultural and historical resources or public spaces" as well as "public art" to the community of Steamboat Springs.

The expansion of the museum is inherently a benefit to the historical resources of Steamboat. The increased storage space will allow the museum to safely store, catalog and provide conservation work space for these historically significant items within a space dedicated to that purpose. These items are then put on display for the education, benefit and enjoyment of all residents and visitors.

The re-location of the enclosed snow cat display with a dedicated sidewalk will be part of this project. This sidewalk will connect to the public sidewalk to encourage passers-by to approach, engage and interact with the snow cat public art display during all seasons.

Board of Directors
Tread of Pioneers Museum
800 Oak Street
Steamboat Springs, CO 80487

RE: Collection House Addition – 219 8th Street

October 12, 2011

Dear Members of the Board:

As loyal members of the museum and community partners in preservation, we are sending you this letter to provide a perspective that seems to have been lost during your planning process. We are concerned about the approach taken with the proposed plan to demolish a historic building in order to build an addition to house the Museum's growing collection of historic objects.

As a starting point on which we are certain we all agree, 219 8th Street is a building dating to the earliest days of Steamboat Springs. It is eligible for listing on the local historic register, and, with the Board's permission, City staff will facilitate its nomination to the Steamboat Springs Register. For all of us involved in the preservation of our regional history and heritage, this status should proffer special consideration in the course of planning future use of the property. Indeed, we are the beneficiaries of a mil levy approved by the voters of Routt County for this very purpose.

For keepers of our history and heritage, preservation of our resources is not a choice. It is an ethic. It is the basis from which we make our decisions. If we are not living this ethic, and promoting it as a community norm, who is? Preservation is, ironically, at the very center of the evolving ethic of green and sustainable building. "The greenest building is the one that is already built," and the ultimate act of recycling is preserving a building. If you choose to demolish the collections building, you set the standard for every person who comes after you. "If the Tread of Pioneers Museum can tear down a building eligible for listing on a historic register, why can't I?"

Yes, rehabilitating the collections building and incorporating it into the museum complex is a challenge. Our point is there are architects who specialize in preservation architecture, and we have that expertise right here in Steamboat Springs. (To further assist us in meeting this challenge, many of us worked diligently to include in the revised Historic Preservation ordinance incentives and waivers from City fees.) A request for proposals from you, the Museum Board, that included preservation architects on the recipient list and directed the respondents to submit plans that rehabilitated and incorporated the existing building into a facility that met contemporary standards for museum collections may have resulted in a very different outcome.

Too often, and we fear this is the case with your Board, integrating historic resources into plans for new facilities is presented to prospective architects and consultants as a choice rather than a directive. It takes far more skill and creativity to rehabilitate a building than to tear down and start anew, but the result is always, always more rewarding. In the words of the esteemed economist, John Kenneth Galbraith,

the preservation movement has one great curiosity. There is never retrospective controversy or regret. Preservationists are the only people in the world who are invariably confirmed in their wisdom after the fact.

If the directive is not forthcoming, you will never know what was possible.

Experience has shown that it is much easier to dismiss an existing building as unsuitable than to see it as an opportunity to achieve something extraordinary. Indeed, it is why our downtowns suffered from disinvestment for over 50 years before they were “rediscovered”. Your legacy can be what you tore down, or what you preserved. The first is a choice, more often than not regretted; the second is an ethic. There are architects who will respond in kind, but they have to know that that is what is expected of them.

We certainly understand that this may be a missed opportunity, but if we don’t speak up now, if we don’t start to instill this ethic now, when will we? And it is “we”. It is all of us who have accepted this responsibility by our willingness to serve on boards that are committed to preserving our history and heritage.

Hopefully, it is not too late. If the funds expended to date are minimal, we have no doubt that there are architects both local and regional who would welcome the chance to present a preservation option at little or no additional cost to the museum. Feel free to contact us if you would like our assistance to pursue this course of action.

Thank you for your consideration and time.

Yours in preservation,

Towny Anderson	townsendhill@gmail.com
Cam Bunn	cbunn9@yahoo.com
Kathy Cline	daisycline@hotmail.com
Pam Duckworth	pam.duckworth@hklaw.com
David Epstein	depstein@twinenviro.com
Todd Hagenbuch	toddhagenbuch@hotmail.com
Arianthé C. Stettner	arianthestettner@gmail.com