

Agenda Item # 3



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: January 26, 2012
TO: Planning Commission
FROM: Seth Lorson, AICP, City Planner
Tyler Gibbs, AIA, Director of Planning and Community Development
SUBJECT: Presentation: Processes Revision Framework

EXECUTIVE SUMMARY:

The purpose of this memo is to propose a conceptual framework, timeline and scope of work for revising the City's development review processes. Please find attached a *Processes Revision Framework* memo, an estimated timeline for each of the critical elements for achieving the process revisions and the *Work Plan and Scope* outlining each of the critical elements.

Framework

This memo provides a general overview of why the proposed changes are necessary and a brief explanation and direction for the proposed changes.

Timeline

This estimated timeline, informed by the *Scope of Work* memo, is to complete the critical tasks necessary to implement the framework.

Scope of Work

This memo provides additional information regarding the work scope and meetings necessary to implement the framework.

Planning staff has identified principal elements in the revision framework and divided the elements into tasks and estimated meetings necessary prior to adoption. The interrelatedness between the identified tasks makes it necessary to complete all tasks prior to adoption. Below is a matrix to assist in understanding the revision process.

Process Elements	Processes							
	MA	FP	CUP	MEM	FDP	PP	CDP	PUD
Purpose/Intent								
Applicability (thresholds)								
Submittal Requirements								
Criteria for review and approval								
Variance criteria								
Call-up provisions and administrative reports								
Term and effect of approval (vesting)								

MA: Minor Adjustment	FP: Final Plat	CUP: Conditional Use Permit	MEM: Minor Exterior Modification	FDP: Final Development Plan	PP: Preliminary Plat	CDP: Conceptual Development Plan	PUD: Planned Unit Development
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Prior Meetings:

This proposal is a result of multiple meetings with Planning Staff, Planning Commission, and the CDC User Advisory Group:

12/07/11 – CDC User Advisory Group: Expressed enthusiasm regarding the proposed changes and suggested the *Short-Term Revisions* as proposed for task #2.

12/12/11 – PC Worksession: Initially reviewed only the *Framework* (task #1) and expressed support for the conceptual changes but complete approval will require many details to be worked out.

01/09/12 – PC Worksession: Planning Commission expressed the need for extensive public outreach so all stakeholders have opportunities to participate in the revision process.

01/16/12 – CC Hearing: City Council enthusiastically gave direction to move forward with the work plan as proposed.

LIST OF ATTACHMENTS

Attachment A – Presentation

Attachment B – CC Report 1-17-12: Processes Revision Framework

Attachment C – CC Report 1-17-12: Timeline and Scope of Work

Proposal for Development Review Process Revisions

Tyler Gibbs, AIA

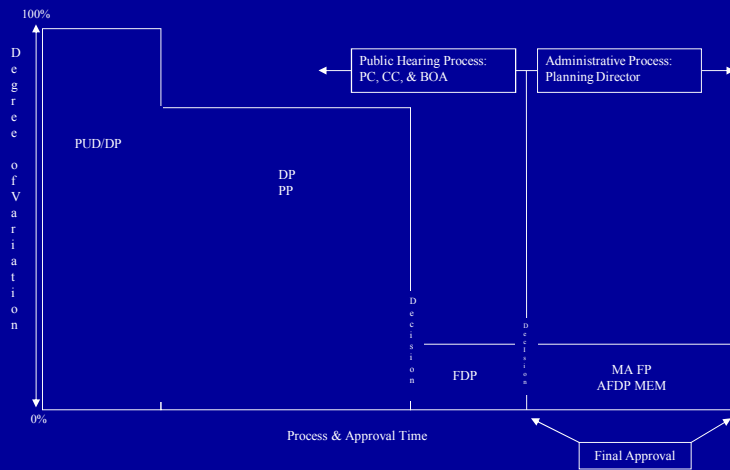
Director of Planning and Community Development

January 17, 2012

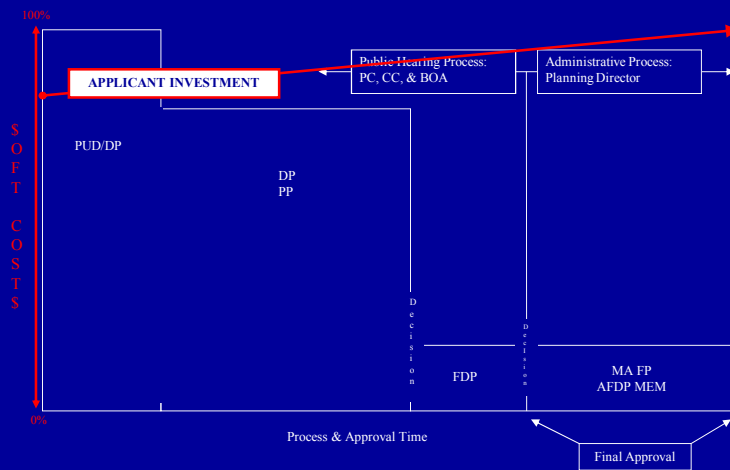
Framework for Processes Revisions (Task 1)

- OBJECTIVES
 - A more **efficient** development review process.
 - A more **predictable** development review process.
 - More meaningful **public participation**.
 - A **cost effective** development review process.
- By creating development review processes that are commensurate to the degree of variation.

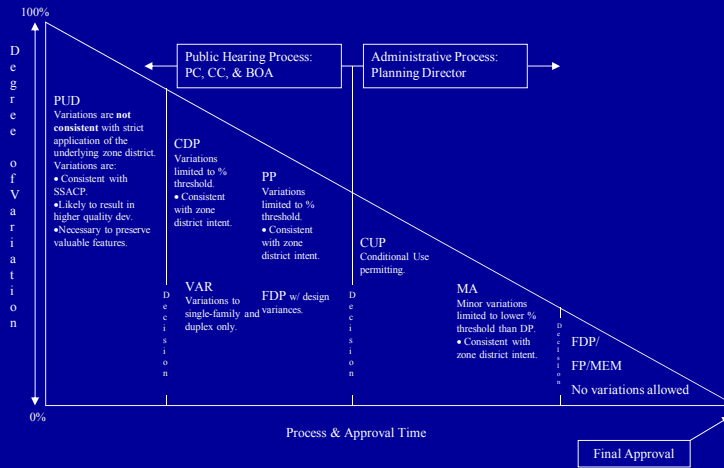
Current Development Review Processes



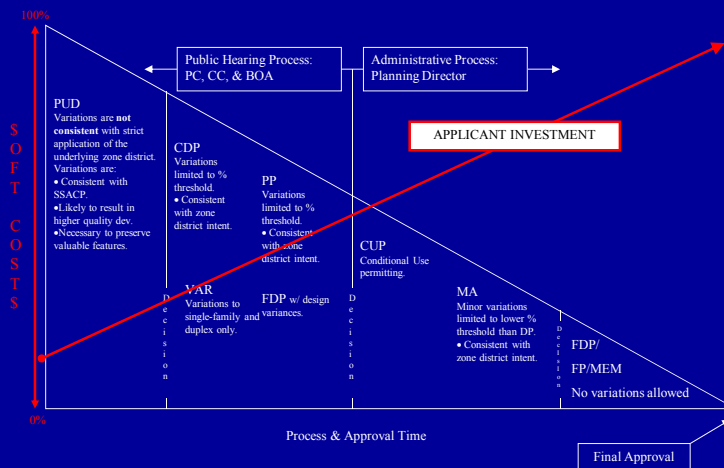
Current Development Review Processes



Proposed Development Review Processes



Proposed Development Review Processes



Processes Overview

Process Elements	Processes							
	MA	FP	CUP	MEM	FDP	PP	CDP	PUD
Purpose/Intent								
Applicability (thresholds)								
Submittal Requirements								
Criteria for review and approval								
Variance criteria								
Call-up provisions and administrative reports								
Term and effect of approval (vesting)								

MA: Minor Adjustment	FP: Final Plat	CUP: Conditional Use Permit	MEM: Minor Exterior Modification	FDP: Final Development Plan	PP: Preliminary Plat	CDP: Conceptual Development Plan	PUD: Planned Unit Development
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Tasks: Critical Path to Implement Revisions

1. Framework (*Complete*)
2. Short-Term Revisions
3. Process Applicability
4. Criteria for Review and Approval
5. Submittal Requirements
6. Call-Up Provisions
7. Administrative Reports
8. Complete Process Chapters
9. Adoption Hearings

Task 2: Short-Term Revisions

- Development Plan (Lite)
 - Allowing for incremental investment prior to final approval.
- Minor Exterior Modification
 - Allow accessory structures

Task 3: Process Applicability

- Inventory and sort all development standards
 - Dimensional Standards
 - Design Standards
- Create standards that are predictable and flexible
 - Based on clear objectives
- Create thresholds for process applicability
 - Degree of conformity/variation with zone district
 - Defined range of discretion at each review level

Task 4: Criteria for Review and Approval

- Reformat criteria for review and approval
 - According to newly proposed processes
- Revise variance criteria/objectives/discretion
 - Dimensional variances
 - Design variances
- Approval language
- Vesting periods

Task 5: Submittal Requirements

- Revise existing submittal requirements
 - Coordinate with proposed applicability requirements
 - Clear objective references for code compliance, alternative compliance or variance requests
- Review fee schedule
 - Revise according to new process lengths for staff time and public hearing time

Task 6: Call-Up Provisions

- Provide Planning Commission and City Council opportunity to “call-up” administrative projects to public hearing.
 - Based on ‘valid objection’ per CDC
 - In a prescribed time frame

(Concurrent with Task 7)

Task 7: Administrative Reports

- Provide detailed staff reports for administrative processes
 - Provide information necessary for “call-up” procedures

(Concurrent with Task 6)

Task 8: Complete Process Chapters

- Combine all work into useable format
- Remove any conflicting language in the CDC
- Create a process flow chart for ease of understanding

Task 9: Adoption Hearing

- Receive final approval from Planning Commission
- Receive final approval from City Council
- Codify

Questions?



**DEPARTMENT OF PLANNING AND COMMUNITY
DEVELOPMENT**

M E M O R A N D U M

DATE: January 17, 2012
TO: City Council
FROM: Seth Lorson, AICP, City Planner
Tyler Gibbs, AIA, Director of Planning and Community Development
SUBJECT: Policy Worksession: Processes Revision Framework

Processes Revision Framework

The purpose of this memo is to propose a revised framework for the development review processes that will be more predictable, timely and responsive to the needs of all community stakeholders. The necessity for considering these changes; and a general overview of the proposed revisions to the structure of the review process are described below.

It should be recognized that the implications of this proposal will extend into many aspects of the code. Based on an acceptable framework for proceeding, more detailed information and additional provisions will need to be developed; including but not limited to newly adopted criteria for review and approval, submittal requirements, notice requirements, administrative reports and call-up provisions.

At this phase in the proposal the focus is on the larger systemic changes such as the shift to reviewing variances earlier in the development process, and the review process being commensurate to the amount of proposed variation from adopted zoning.

When there is stakeholder agreement on the framework for restructuring the development review process, a scope for thorough proposals, public hearings, adoption, and implementation will be provided.

Creating an Appropriate Nexus between Project Impacts and Investment and Review Time

Facilitating Development Proposals that are Consistent with Development Standards

Currently all commercial, industrial, and multifamily development and subdivision proposals of a certain size are heard by Planning Commission and City Council at a public hearing regardless of whether the proposal requests a variation to development standards or the degree to which the standards are varied. Denial can only be based on non-conformance with an adopted development standard.

Because proposals that are in conformance with all the development standards in the CDC cannot be denied at Planning Commission or City Council, processing conforming proposals through public hearings puts unnecessary time and cost obligations on an applicant and creates false expectations for

the public. Requiring all proposals to go through a public hearing process in essence encourages requests for variances since there is no advantage or savings in submitting fully conforming application. In order to avoid unnecessary cost, time and uncertainty the Community Development Code should expedite projects that are consistent with development standards thereby facilitating the efficient implementation of the community's vision. On the other hand, projects that choose to request significant variations from the CDC should receive prompt public review and direction prior to the investment of substantial time and design cost.

In order to administer an efficient and reliable review process it is important that all stake holders - reviewing and deciding bodies, applicants, and the public - have confidence in the clarity and objectivity applied in the development and application of development standards. If the process of determining whether or not a development proposal is in conformance with all the development standards is a question of contention, then criteria for review and approval and/or development standards should be reevaluated to ensure clear and consistent application.

Early Review and Determination for Development Proposals that are Seeking Variances from Development Standards

Currently, the review process does not provide a nexus between the amount of review required and the potential impacts of requested variances. All commercial, industrial and multifamily development proposals that have 2 or less variances from development standards or 4 or less variances from subdivision standards are processed as a Development Plan or a Preliminary Plat respectively. Those projects that have a more variances are automatically pushed into the current PUD process. There is no threshold on the percentage of variation from a standard, only the number of standards being varied. However, the degree to which a standard is varied may have a much greater affect on a development's consistency with the adopted zone district than would multiple minor degree variations.

Currently, significant design and financial investment has been committed by the time proposals with requested variances are heard at public hearing. This investment creates great risks, expectations and urgency for approval by the applicant and a sense of pressure for the deciding body. Opportunity for constructive input is not provided early in the process when it is most beneficial.

Consideration of requested variances prior to significant investment in design and engineering would provide the applicant with greater confidence in the project's feasibility as well as greater opportunity for deciding bodies and staff to work with an applicant to craft a proposal that will be acceptable to the community.

Staff is proposing the framework for a review and approval process that is commensurate in time and expenditure with the degree of variation being proposed. This approach organizes categories of variations into tiers based on maintaining the integrity of the zone district's intent as well as potential impacts to the community. This allows for a more cooperative and predictable development process. Please see process matrix below for proposed changes.

Processes Matrix: Existing and Proposed

Decision Maker: Planning Commission & City Council (PC & CC)
Decision Maker: Planning Director; Administrative

Existing		Proposed	
Process	Applicability and Decision Maker	Process	Proposed Change
Pre-Application (Sec. 26-60)	To provide applicant with information about required submittal materials, variances to CDC, and TAC review. Decision Maker: Admin (no approval); Option to go to PC & CC (no approval)	Pre-Application	Remove option to go to PC & CC as they cannot take a vote or imply a decision. * *See Conceptual Development Plan. <i>Benefit:</i> <i>Reduces time and creates efficiency. Does not mislead applicant or deciding body that a decision will be made.</i> Decision Maker: Admin (no approval).
Conditional Use Permit	Use only. Process based upon Table of Permitted Principal Uses (Sec. 26-92) <i>Does not yet exist. Conditional Uses are processed through the Development Plan process.</i>	Conditional Use Permit	Separate the Conditional Use from the Development Plan. PC & CC adopt new Conditional Use process and new criteria for review and approval. Decision maker: Planning Director. <i>Benefit: Improves predictability. Creates a more accurate and concise process for use only.</i>

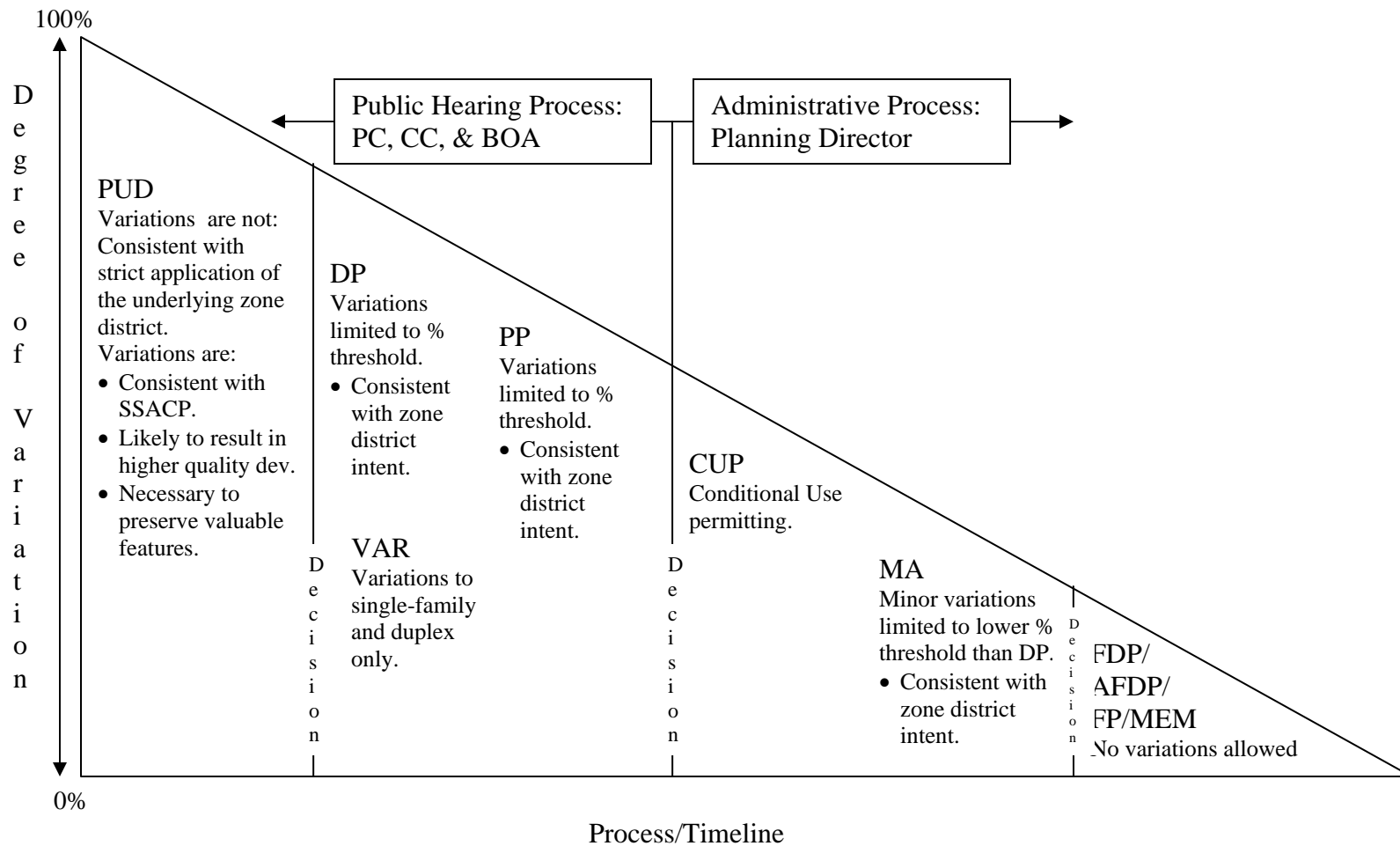
Existing		Proposed	
Process	Applicability and Decision Maker	Process	Proposed Change
			<i>Reduces costs and stream-lines process.</i>
Minor Exterior Modification (Sec. 26-78)	Exterior modifications and additions <1,500 square feet. Decision maker: Planning Director.	Minor Exterior Modification (Sec. 26-78)	Add accessory structures to applicability; Additions and accessory structures < 1,500 square feet. Decision maker: Planning Director. <i>Benefit: Give recognition to smaller developments not requiring as much process or cost.</i>
Minor Adjustment (Sec. 26-69)	Adjustments to development standards: <ul style="list-style-type: none"> • <20% lot size, width, coverage, setback, or height. • <20% landscaping. • <20% fences & walls. • <5% increase in FAR. • Building envelope adjustments for SFR & Duplexes. Decision maker: Planning Director	Minor Adjustment (Sec. 26-69)	Increase the amount of development and subdivision standards that can be varied through the Minor Adjustment process. Decrease the % that can be adjusted through this process. PC & CC adopt new criteria for review and approval. Decision maker: Planning Director. <i>Benefit: Ensure that the variation being approved administratively is actually minor in nature and does not compromise the intent of the zone district.</i>

Existing		Proposed	
Process	Applicability and Decision Maker	Process	Proposed Change
Variance (Sec. 26-70)	<p>Adjustments to single-family and duplex structures for the following standards:</p> <ul style="list-style-type: none"> • Numerical or dimensional standards in Article V to SFR and duplexes. • Modification of nonconforming structure or use. • Variances to signs. <p>Variances to floodplain development permits.</p> <p>Decision maker: Board of Adjustment</p>	Variance (Sec. 26-70)	<p>None.</p> <p>Decision maker: Board of Adjustment</p>
Development Plan (Sec. 26-65)	<p>Process Conditional Uses; process development applications for development with a PUD; process 2 or fewer variations for commercial, multifamily, and industrial developments; process massing and site plan development.</p> <p>Decision maker: PC & CC</p>	Conceptual Development Plan (Sec. 26-65)	<p>Remove Conditional Use from applicability. Remove number of variances and replace with percentage of variation creating a cap for the variation allowed based on the intent of the zone district. Reduce the amount of submittal requirements, only what is needed to approve massing, site plan, use and variances. Create definitive language for what is being approved. PC & CC adopt new criteria for review and approval.*</p> <p>*See PUD revisions.</p> <p>Decision maker: PC & CC</p>

Existing		Proposed	
Process	Applicability and Decision Maker	Process	Proposed Change
			<i>Benefit: Creates distinction from the FDP. Allows for greater predictability in the process with less investment.</i>
Administrative Final Development Plan (Sec. 26-89)	Process development proposals for commercial, industrial, multifamily, institutional and mixed use (anything other than single-family or duplex) projects without variances greater than a Minor Adjustment and less than 16,000 square feet. Decision maker: Planning Director.	Administrative Final Development Plan (Sec. 26-89)	Eliminate the Administrative Final Development Plan. Allow Final Development Plan to become administrative.
Final Development Plan (Sec. 26-66)	Process development proposals for commercial, industrial, multifamily, institutional and mixed use (anything other than single-family or duplex) projects. Decision maker: PC & CC.	Final Development Plan (Sec. 26-66)	Allow to be processed administratively. NO VARIANCES CAN BE PROCESSED. Confirm conformance with standards and variances previously approved through MA, CDP, or PUD. PC & CC adopt new criteria for review and approval. * *See PUD revisions. Decision maker: Planning Director. <i>Benefit: Reduces time and creates efficiency and</i>

Existing		Proposed	
Process	Applicability and Decision Maker	Process	Proposed Change
			<i>predictability.</i>
Final Plat (Sec. 26-68)	<p>Process land and property subdivisions and plats that are:</p> <ul style="list-style-type: none"> • <3 industrial lots <1 acre. • <3 duplex lots. • <6 single-family lots. <p>Decision maker: Planning Director</p>	Final Plat (Sec. 26-68)	<p>Process subdivisions without variances. Remove any arbitrary applicability requirements. Confirm conformance with standards and variances previously approved through PP.</p> <p>Decision maker: Planning Director.</p> <p><i>Benefit:</i> <i>Removes unnecessary process, reduces time and creating efficiency.</i></p>
Preliminary Plat (Sec. 26-69)	<p>Process land and property subdivisions and plats that do not meet the Final Plat criteria or to process up to 4 variances from subdivision standards.</p> <p>Decision maker: PC & CC.</p>	Preliminary Plat (Sec. 26-69)	<p>Process variances to subdivision standards. Remove any arbitrary applicability requirements. Remove number of variances and replace with percentage of variation creating a cap for the variation allowed based on the intent of the zone district.</p> <p>Decision maker: PC & CC.</p> <p><i>Benefit:</i> <i>Removes unnecessary process creating efficiency.</i></p>

Existing		Proposed	
Process	Applicability and Decision Maker	Process	Proposed Change
Planned Unit Development – PUD (Sec. 26-81)	<p>Process development proposals with more than 2 variances to development standards and subdivisions with more than 4 variances to subdivision standards.</p> <p>Decision maker: PC & CC</p>	<p>Planned Unit Development – PUD (Sec. 26-81)</p>	<p>Rewrite the PUD in entirety to create PUD zone districts. A rezone to PUD shall be approved prior to and separate than an FDP. Rezone property to allow for custom zone district and unique dimensional standards. See PUD report below.</p> <p>Decision maker: PC & CC</p> <p><i>Benefit: Creates predictability by making major decisions regarding development standard variations early in the process. This, in turn, encourages greater conformance with existing zone districts.</i></p>



Early Review

Approval of Major Variances

Approval of Minor Variances

Final Approval

Application will begin process at a point determined by the amount of variance from adopted zoning

Planned Unit Development (PUD) Revision

Reasons to revise existing PUD

- The stated purpose is not achieved with the existing model.

Sec. 26-81. Planned unit development.

(a) Purpose. The purpose of the planned unit development (PUD) is to provide flexibility from the strict application of certain standards of this CDC so as to encourage innovative site planning and, thereby, to achieve a more desirable environment than would be possible through the strict application of the minimum standards of this CDC. Specifically, it is the purpose of a PUD to:(Note: The planned unit development is not applicable within the Gondola one (G-1), Gondola two (G-2), resort residential one (RR-1), and resort residential two (RR-2) zone districts.)

PUD is required when a development proposal exceeds 2 variances or a preliminary plat exceeds 4 variances; or for “big box” retail as defined by the CDC. PUD is only utilized when it is required due to one of the above described circumstances.

- The vesting is based on a development plan and hence expires, sometimes prior to full build-out potential of the site for which the PUD is affecting.
- No rational nexus exists in the variance to public benefit ratio in existing PUD.

Objectives: conceptual changes

- Utilize the PUD process to create a custom zone district to allow development to adhere to custom regulations in perpetuity. The existing or closest relevant zone district shall be basis from which the proposed PUD district regulations are developed.
- Create required criteria addressing unique circumstances of the subject parcel that makes it suited for a rezone to a PUD, such as:
 - Furthering the goals and objectives of the SSACP.
 - Higher quality design and site plan than would be possible through the strict application of the existing zone district.
 - Preserving natural and man-made site features of historic, cultural or scenic value.
 - A unique physical condition exists with the lot that does not allow a practical pattern of development according to the underlying zone district.
 - Consistency with character of surrounding land uses.
 - Increasing economic value of the property shall not be the sole purpose of the PUD.
- PUD shall be processed prior to and separate than a Final Development Plan.
- PUD shall outline custom dimensional standards and uses.
- PUD shall be required if the above criteria of unique circumstance exists on the lot and a project’s variances exceed those set forth in the Conceptual Development Plan process.
- PUD vesting shall run with the land or until City Council or an applicant changes it, no less than 3-5 years from PUD approval.

ID	Task Name	2012												2013						
		4th Quarter				1st Quarter			2nd Quarter			3rd Quarter			4th Quarter			1st Quarter		
		Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar
1	1 Framework																			
2	1.1 CUAG Meetings: 12/07/11																			
3	1.2 PC Worksession Meetings: 12/12/11, 1/09/12																			
4	1.3 CC Worksession and direction: 1/17/12																			
5	1.4 Public Outreach Meetings: 1																			
6	2 Short-Term Revisions																			
7	2.1 CUAG Meetings: 1																			
8	2.2 PC Worksession Meetings: 1																			
9	2.3 CC Adoption Hearings: 2																			
10	3 Process Applicability (MA, FP, CUP, MEM, FDP, PP, CDP, PUD)																			
11	3.1 CUAG Meetings: 4																			
12	3.2 PC Worksession Meetings: 6																			
13	3.3 CC Worksession and direction: 1																			
14	4 Criteria for Review and Approval																			
15	4.1 CUAG Meetings: 2																			
16	4.2 PC Worksession Meetings: 3																			
17	4.3 CC Worksession and direction: 1																			
18	4.4 Public Outreach Meetings: 1																			
19	5 Submittal Requirements																			
20	5.1 CUAG Meetings: 1																			
21	5.2 PC Worksession Meetings: 1																			
22	5.3 TAC Meetings: 2																			
23	6 Call-Up Provisions (FP, CUP, MEM, FDP)																			
24	6.1 CUAG Meetings: 1																			
25	6.2 PC Worksession Meetings: 2																			
26	7 Administrative Reports (FP, CUP, MEM, FDP)																			
27	7.1 CUAG Meetings: 1																			
28	7.2 PC Worksession Meetings: 2																			
29	7.3 CC Worksession and direction: 1																			
30	8 Complete new processes chapters.																			
31	8.1 CUAG Meetings: 1																			
32	8.2 PC Worksession Meetings: 2																			
33	8.3 CC Worksession and direction: 1																			
34	8.4 Public Outreach Meetings: 1																			
35	9 Adoption Hearings																			
36	9.1 PC Hearings: 1																			
37	9.2 CC Hearings: 2																			

Project: Project Timeline Date: Thu 01/05/12	Task		Project Summary		Inactive Milestone		Manual Summary Rollup		Deadline	
	Split		External Tasks		Inactive Summary		Manual Summary		Progress	
	Milestone		External Milestone		Manual Task		Start-only			
	Summary		Inactive Task		Duration-only		Finish-only			

CDC Processes Revision – *Scope of Work – January 17, 2011

*Corresponds with project timeline.

Below are the identified elements necessary to evaluate and implement the revised development review processes as proposed in the *Processes Revision Framework* report (attached).

Abbreviation Key:

CDC	Community Development Code
DP	Development Plan
CDP	Conceptual Development Plan
FDP	Final Development Plan
AFDP	Admin Final Development Plan
PP	Preliminary Plat
VAR	Variance
CUP	Conditional Use Permit
MA	Minor Adjustment
FP	Final Plat
MEM	Minor Exterior Modification
PUD	Planned Unit Development
PC	Planning Commission
CC	City Council
BOA	Board of Adjustment
CUAG	CDC User Advisory Group
TAC	Technical Advisory Committee
SSACP	Steamboat Springs Area Community Plan

1. Framework:

The overall concept of changes to development review processes has been reviewed by the CDC User Advisory Group on 12/7/11 and Planning Commission on 12/12/11. This is the guiding document for the revision process.

Tasks: *Complete.* See Processes Revision Framework report (attached).

Meetings:

12/07/11 – CDC User Advisory Group. *Complete.*

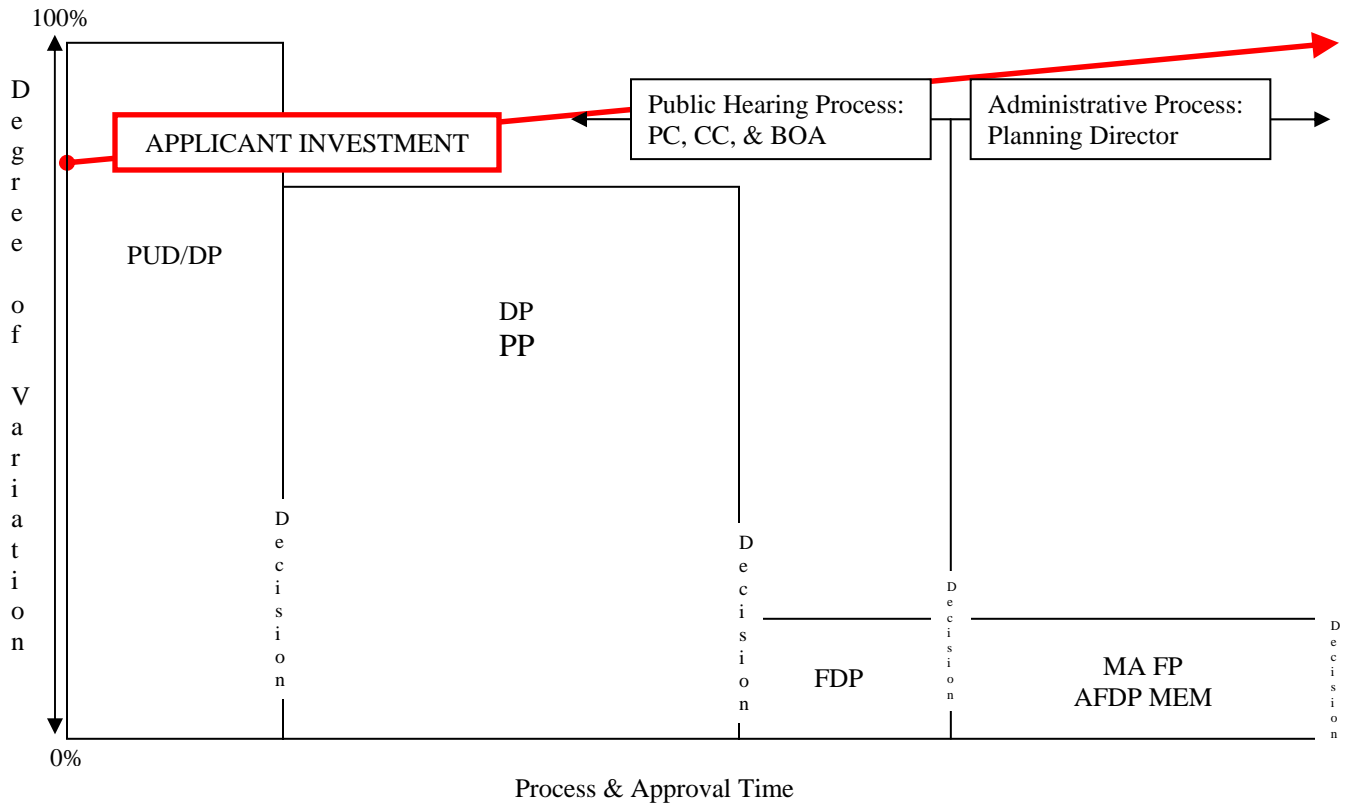
12/12/11 – PC Worksession. *Complete.*

01/09/12 – PC Worksession

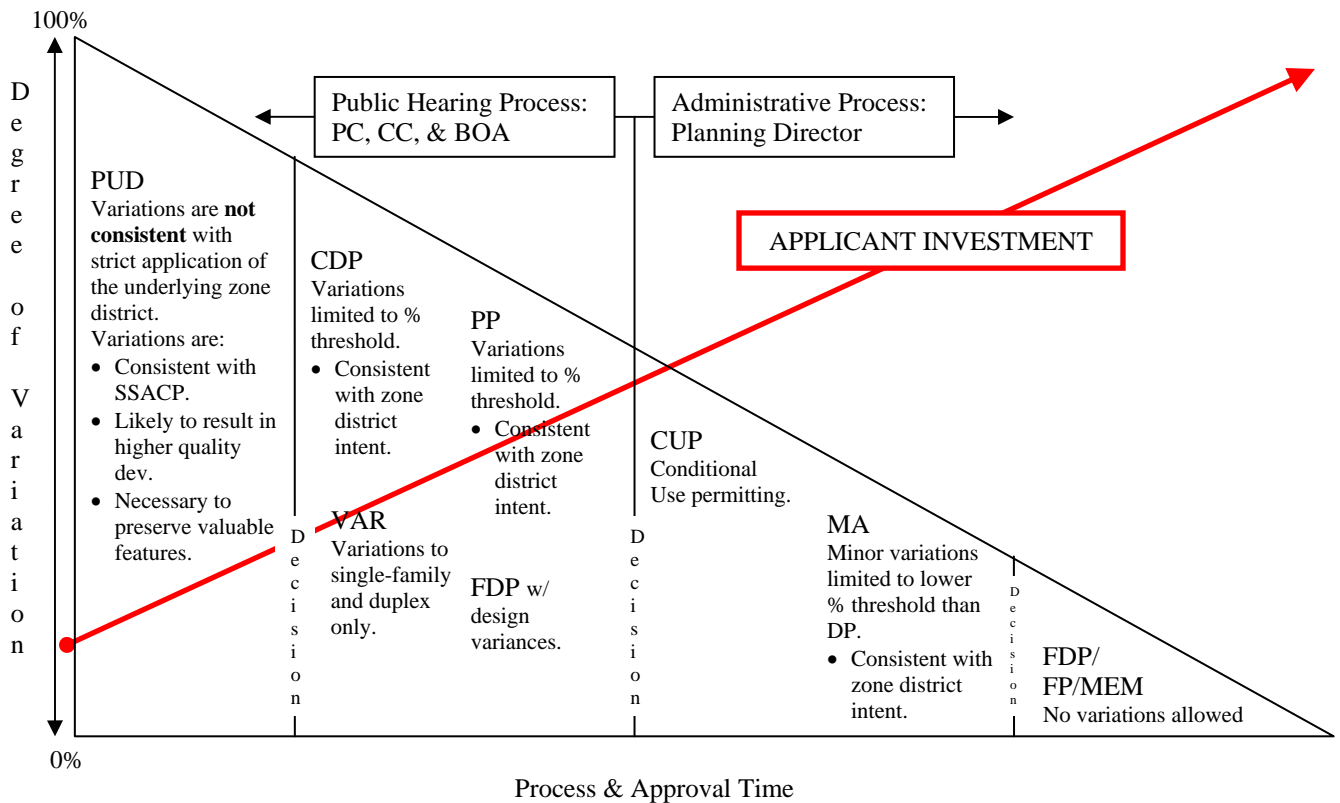
01/17/12 – CC Presentation

1 Public Outreach *TBD*

Existing Processes Conceptual Graphic:



Proposed Processes Conceptual Graphic:



2. Short-Term Revisions:

The below items have been identified as short-term revisions that can be done without coordination or conflict with the greater revision process.

Tasks:

- Development Plan (Lite): Revise the submittal requirements to allow for only the necessary information for approving massing, site plan, use, and variances. Create approval language that clearly denotes exactly what is being approved based upon what has been submitted and reviewed. This was requested as an immediate fix to assist in predictability for reviewing variances.
- Minor Exterior Modification (MEM) accessory structures: Allow for accessory structures < 1,500 square feet to be approved with the MEM process.

Meetings:

1 CUAG *TBD*

1 PC Worksession *TBD*

2 Readings for adoption at CC *TBD*

3. Process Applicability (MA, FP, CUP, MEM, FDP, PP, CDP, PUD):

The proposed process changes to development review procedures will establish a rational nexus between the amount of requested variance from the adopted CDC development standards and the amount of review process required. A degree of variation that alters a project beyond the intent of the zone district will be the upper variance limit for the Conceptual Development Plan and the Preliminary Plat, anything beyond this threshold is required to rezone to a PUD. A lesser degree of variation that is considered “minor” will be identified as the threshold for a Minor Adjustment.

Tasks:

- Create a process chapter template in order to ensure consistency throughout the overall revision process.
- Inventory all development and subdivision standards and categorize into *dimensional standards* to which a numerical threshold can be applied, and *design standards* that cannot.
- Propose thresholds for process applicability. Utilize modeling programs (SketchUp, Vizhen) to illustrate the degree of variation for each dimensional standard that alters a project beyond the intent of the zone district. This will need to be done for each dimensional standard identified in step one. Below are the existing dimensional standards:
 - Lot area
 - Lot width
 - Lot coverage
 - Units per lot
 - Floor area ratio
 - Building height
 - Setbacks (front, side, rear)

Meetings:

4 CUAG *TBD*

6 PC Worksession *TBD*
1 CC Worksession and Direction *TBD*

4. Criteria for Review and Approval:

As new development review processes are created for FP, MA, MEM, CUP, CDP, FDP, PP, and PUD, the existing *criteria for review and approval*, and *variance criteria* need to be evaluated to ensure they allow for an objective and predictable review based on the development standards that are being applied to a project as well as flexibility to apply alternative compliance standards based on established objectives.

Tasks:

- Revise criteria for review and approval as necessary.
- Revise *variance criteria* to ensure an objective review based upon the identified thresholds (above) for variation and allow for an objective review based on the dimensional standards.
- Create design standard *variance criteria* for an FDP to be reviewed and approved by PC, a design committee, or administratively.
- Create definitive language for approval. For processes that approve incremental progress such as massing, height, and variances (MA, CDP, PP).
- Evaluate the existing vesting periods for appropriateness.

Meetings:

2 CUAG *TBD*
3 PC Worksession *TBD*
1 Public Outreach *TBD*
1 CC Worksession and Direction *TBD*

5. Submittal Requirements:

The proposed incremental approach to development review requires an incremental approach to submittal requirements. It is important that the city is not asking more from an applicant than what is necessary to review the project based on what is being requested for approval.

Tasks:

- Ensure submittal requirements for each revised process are commensurate to the amount of development being approved.
- Evaluate the fee schedule for appropriateness based upon the staff and public process time necessary to review and approve a proposal.

Meetings:

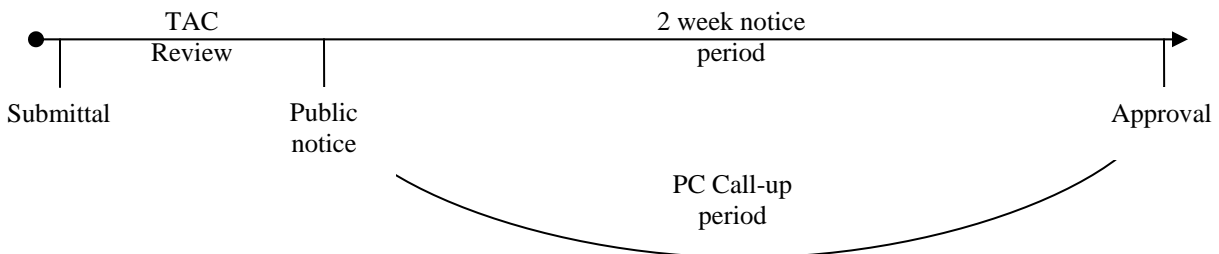
1 CUAG *TBD*
1 TAC *TBD*
1 PC Worksession *TBD*

6. Call-Up Provisions (FP, CUP, MEM, FDP):

To ensure conformance with the CDC, Planning Commission and City Council will have the opportunity to “call-up” administrative processes (in parentheses above) to public hearing. Below is the information discussed with Planning Commission at worksession on 10/27/11 and further discussed by staff on 11/9/11;

- One Planning Commissioner can call for a vote of Planning Commission for a call-up of an administrative project to public hearing.
 - The majority (with a quorum) of the Planning Commission must vote for the call-up to take the project to public hearing.
- Planning Commissioners have the opportunity to call for a vote during the two week public notice period prior to administrative approval (at a Monday worksession, date to be set when public notice is sent.)
- At the beginning of the two week period staff will provide an administrative staff report to Planning Commission.
- A call for a vote must be a valid objection with reference to a code provision that is not being met by the project or has been overlooked.

Proposed Conceptual Graphic:



Tasks:

- The above information will need to be further evaluated through public worksession(s).
- Legal will need to review proposal for conformance with the City Charter.

Meetings: Combine with #7 Administrative Reports, see below.
10/27/11 – PC Worksession. *Complete.*

7. Administrative Reports (FP, CUP, MEM, FDP):

To provide Planning Commission with an adequate amount of information to review administrative processes for conformance with the CDC a new *administrative staff report* will be created. The report will have significantly more information than the current *administrative summaries* but with less detail than the current public hearing staff reports.

Tasks:

- Create the format with the necessary information for the following processes:
 - Final Plat
 - Conditional Use Permit
 - Minor Exterior Modification
 - Final Development Plan

Meetings: Combined with #9 Call-Up Provisions.
1 CUAG *TBD*
1 PC Worksession *TBD*
1 CC Worksession and Direction *TBD*

8. Complete new processes chapters:

According to the *Processes Revision Framework* report, compile all the earlier work above into cohesive chapters of the CDC. Some additional revisions may need to be made at this time.

Tasks:

- Analyze and implement all remaining aspects of the *framework* (see attached).
- Sort all work into useable process chapters in the CDC.
- Make identified changes to Pre-Application.
 - Remove the option to go to public hearing as shown in *framework*.
- Eliminate AFDP for revised FDP.
- Change Development Plan (DP) to Conceptual Development Plan (CDP).
- Remove *applicability* requirements from FP, PP, DP, FDP such as maximum 3 lot commercial subdivision (FP) or maximum 2 variances (DP) and replace with identified variance thresholds.
- Create a process flow chart to allow for easy understanding of the process an applicant must go through to achieve their objective.
- Remove any conflicting language throughout the rest of the CDC.
- Revise according to direction from City Council.

Meetings:

1 CUAG *TBD*

2 PC Worksession *TBD*

1 CC Worksession and direction

1 Public Outreach *TBD*

9. Adoption Hearings:

Present all process revisions at public hearings for final adoption.

Tasks:

- Receive approval from Planning Commission.
- Receive approval for two readings of ordinance at City Council.

Meetings:

1 PC Hearings *TBD*

2 CC Hearings *TBD*

PHASE II - 2013

Restructure CDC by Zone District:

Restructure the CDC by zone district. This would make the CDC more user-friendly by placing development standards for a zone district all in one place.

Incorporate Outside Documents into CDC:

Specifically the Mountain Base Area Design Standards and the Urban Design Standards need to be merged into the CDC principal document.

Development Standards:

As variance thresholds and new criteria for review and approval are created all development standards, including non numerical standards, need to be able to respond to the variation thresholds. This may require the creation of objective intent statements that can be evaluated according to the new development review processes from PHASE I.

- Identify standards that cannot be varied according to a numerical threshold and create a different objective criteria.
- Identify standards that are outdated or the intent can be achieved another way.

Notice Requirements:

The overall shift toward administrative review puts greater emphasis on the creation of zoning and development provisions. Expanding the public outreach during this aspect of development facilitates meaningful public participation.

- Expand public notice for Zoning Map Amendments (ZMA) and CDC Text Amendments (TXT).
- Examine new ways to contact stakeholders; i.e. email, social media, meetings in alternative locations etc...
- Evaluate the current development review notice requirements to ensure the appropriate information is getting to the necessary stakeholders.